

CREIGHTON & CLOCKTOWER RENOVATIONS

COLLINGTON LIFE CARE COMMUNITY

10450 Lottsford Road, Mitchellville, MD 20721

PACKAGE 4 - PHASE 1A

CONSTRUCTION DOCUMENTS

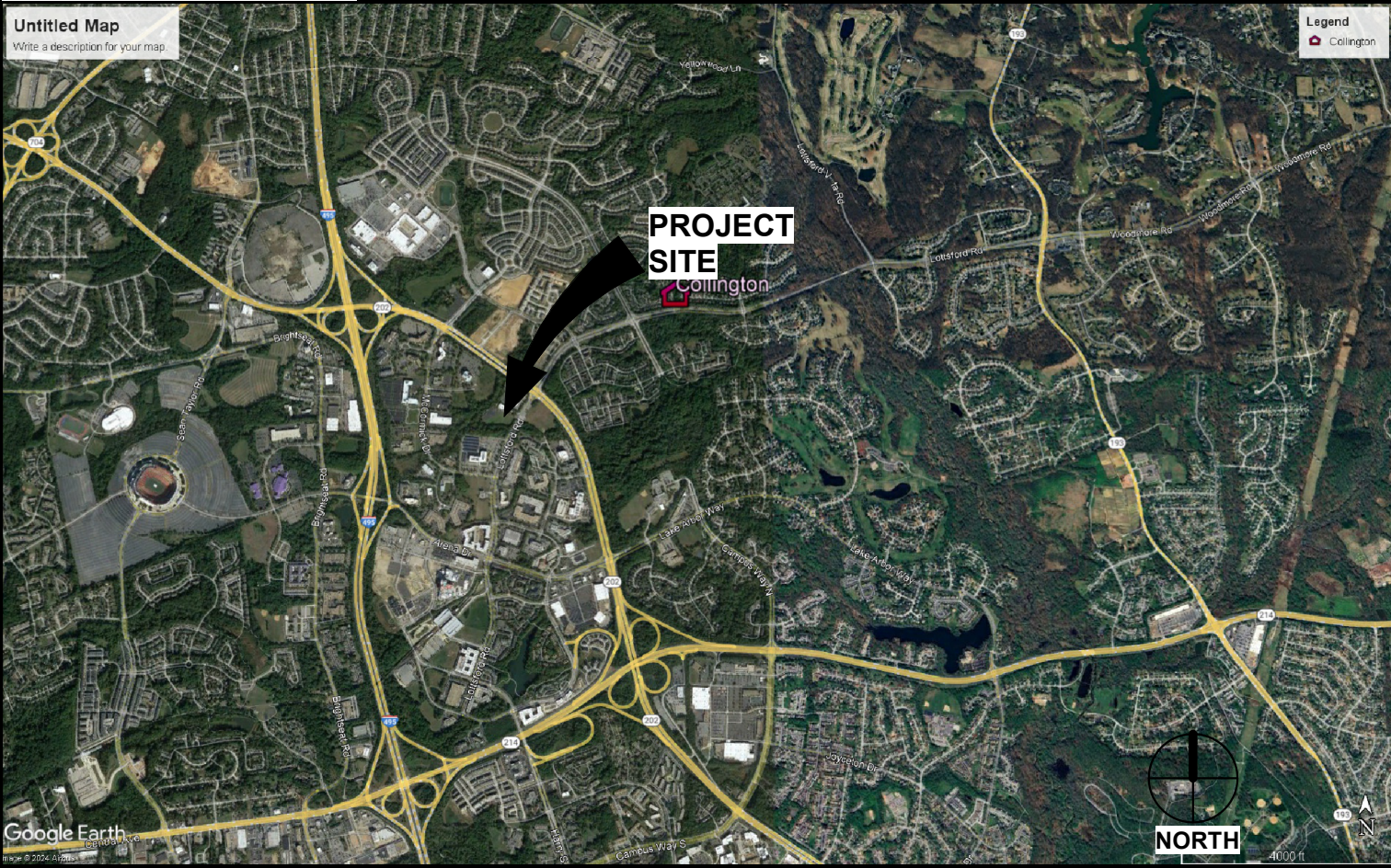
DATE: MAY 13, 2026

COMM. NO. 18135.00

VICINITY MAP



LOCATION MAP



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SFCS

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Planning
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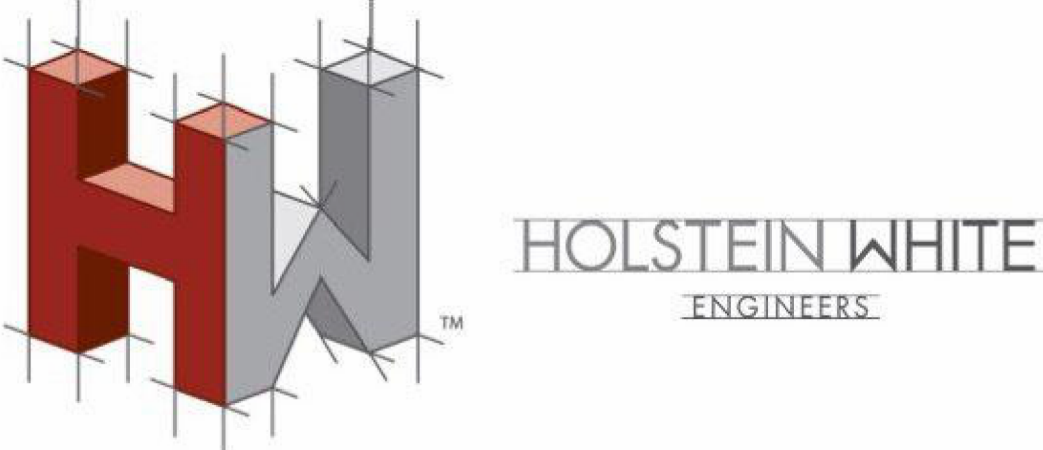
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PHASE 1A

T1-P1A

PROJECT DATA

North Symbol

Column Grid Line

Plan Note

Partition Information

Door Information

Room Information

Plan & Vertical Section Reference

Section Detail Reference

Plan Detail Reference

Enlarged Plan Reference

Elevation: Multiple Elevation

Curtain Wall Type

Glass Type

Window Type

Storefront Type

Toilet Accessories

Revision Number

Supplemental Drawing Reference Number

Equipment Not In Contract

Equipment Number

Matchline

Center Line

Plan Spot Elevation

PROJECT DESCRIPTION: PHASE 1A ENABLING

IN ORDER TO ACCOMMODATE UPCOMING RENOVATIONS & ADDITIONS, THERE WILL BE RENOVATIONS TO NUMEROUS SPACES ON THE 2ND, 3RD, & 4TH FLOORS.

2ND FLOOR:

- THE EXISTING MAIL AREA WILL BE RENOVATED INTO A NEW MAIL AREA AND PACKAGE DELIVERY ROOM.
- THE RECEPTION & SECURITY AREA NEAR THE MAIN ENTRY WILL BE RENOVATED.
- THE EXISTING BOARD ROOM AND PERIODICAL ROOM WILL BE RENOVATED INTO PHYSICAL OCCUPATIONAL THERAPY SPACES.
- THE EXISTING RECEPTION & STUDY ROOMS WILL BE RENOVATED TO A NEW GYM/FITNESS SPACE.

3RD FLOOR:

- THE EXISTING FOOD SERVICE AREA, WHICH HAS BEEN SECONDARY TO THE MAIN DINING AREA, WILL BECOME THE MAIN FOOD SERVICE AREA DURING THE UPCOMING DINING RENOVATION. A NEW PIECE OF KITCHEN EQUIPMENT WILL BE INSTALLED TO ACCOMMODATE THIS.

4TH FLOOR:

- EXISTING STAFF LOUNGE AND SERVING KITCHEN (NOT CURRENTLY IN USE) WILL BE RENOVATED INTO A TEMPORARY SERVICE KITCHEN.
- AN EXISTING NURSE'S STATION & UTILITY ROOM OVER THE ARBORS WILL BE CONVERTED TO A TEMPORARY STAFF LOUNGE.

A TEMPORARY EGRESS STAIR WILL BE ADDED, DESCENDING FROM THE 4TH TO 3RD FLOOR WITH A FIRE RATED CORRIDOR EXITING TO GRADE FROM THE 3RD FLOOR.

AUTHORITY HAVING JURISDICTION
PRINCE GEORGE'S COUNTY, MARYLAND

HEALTH DEPARTMENT
MARYLAND STATE DEPARTMENT OF HEALTH AND MENTAL HYGIENE

APPLICABLE CODES

2021 **MARYLAND BUILDING CODE (MBPS)** - INCORPORATING 2021 INTERNATIONAL BUILDING CODE (IBC) /W/ COUNTY AMENDMENTS PER TITLE 17, SUBDIVISION 3

2021 **MARYLAND BUILDING REHABILITATION CODE (COMAR 08.12.58)** - INCORPORATING 2021 INTERNATIONAL EXISTING BUILDING CODE /W/ AMENDMENTS

2021 **MARYLAND ENERGY CODE (MBPS)** - INCORPORATING 2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) /W/ AMENDMENTS

2019 **MARYLANDITY CODE (MAC)** (COMAR title 9.12.53 INCORPORATING 2010 ADA (ADAAQ) STANDARDS)

MARYLAND MECHANICAL CODE - INCORPORATING 2021 INTERNATIONAL MECHANICAL CODE (IMC) /W/ COUNTY AMENDMENTS PER TITLE 17, SUBDIVISION 3

2021 **EDITION WASHINGTON SUBURBAN SANITARY COMMISSION (WSSC) PLUMBING AND FUEL GAS CODE** - INCORPORATING 2018 INTERNATIONAL PLUMBING CODE (IPC) & 2018 INTERNATIONAL FUEL GAS CODE)

2020 **MARYLAND ELECTRICAL CODE** - INCORPORATING 2020 NFPA 70 NATIONAL ELECTRICAL CODE /W/ AMENDMENTS

2024 **MARYLAND FIRE CODE** - INCORPORATING 2024 NFPA 1 FIRE CODE /W/ AMENDMENTS

2024 **MARYLAND LIFE SAFETY CODE** - INCORPORATING 2024 NFPA 101 /W/ AMENDMENTS AND INCORPORATING TITLE 11 OF THE PRINCE GEORGE'S COUNTY CODE

2018 **STATE OF MARYLAND FIRE PREVENTION CODE** - BASED ON 2018 NFPA 1 FIRE CODE /W/ AMENDMENTS (COMAR 29.06.01.03)

CODE INFORMATION		
BUILDING TYPE	COMMUNITY CENTER	HEALTH CENTER
USE & OCCUPANCY CLASSIFICATION	UN-SEPARATED MIXED USE ASSEMBLY (A-3)	UN-SEPARATED MIXED USE ASSISTED LIVING (I-2)
CONSTRUCTION TYPE	TYPE IIIB NFPA II (222)	TYPE IIA NFPA II (222)
MAX. BUILDING HEIGHT (TABLE 504.3)	75 FEET	85 FEET
MAX. NO. OF STORIES (TABLE 504.4)	3 STORIES	3 STORIES
MAX. AREA PER FLOOR (TABLE 506.2)	28,500 SF	45,000 SF
FULLY SPRINKLED	YES, PER NFPA 13	YES, PER NFPA 13
ATTIC SPRINKLED	YES, PER NFPA 13	YES, PER NFPA 13

TABLE 601 - FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS)		
STRUCTURAL FRAME	0 HOUR	1 HOUR (UL D788, X795)
EXTERIOR BEARING WALLS	2 HOUR	1 HOUR
EXTERIOR NONBEARING WALLS (TABLE 705.5)	0 HOUR	1 HOUR (UL V454) (1 HR <5', 1 HR 5'-9', 1 HR 10'-29', 0 HR >30')
INTERIOR BEARING WALLS	0 HOUR	1 HOUR
INTERIOR NON-BEARING WALLS	0 HOUR	0 HOUR
FLOOR CONSTRUCTION	0 HOUR	1 HOUR (UL D788)
ROOF CONSTRUCTION	0 HOUR	1 HOUR (UL P522)
FIRE-RESISTANCE RATING REQUIREMENTS FOR OTHER BUILDING ELEMENTS (HOURS)		
FIRE WALLS (TABLE 706.4, Note a)	3 HOURS (U906)	2 HOURS (U906)
FIRE BARRIERS (707.3.10)	2 HOURS	2 HOURS
OCCUPANCY SEPARATION (508.4, 711.2.4.1)	0 HOUR	2 HOUR
SHAFTS (713.4) (CONNECTING FOUR STORIES) (CONNECTING LESS THAN FOUR STORIES)	2 HOURS (UL U906) 1 HOUR (UL U415)	2 HOURS (UL U906) 1 HOUR (UL U415)
CARE SUITE SEPARATION (407.4.4.2, 710)	N/A	SMOKE PARTITION
TRAVEL DISTANCE (TABLE 1017.2)	250 FT (A-3)	200 FT (I-2)
COMMON PATH OF TRAVEL (1006.2.1)	75 FT (A-3)	75 FT (I-2)
EXIT ACCESS CORRIDORS (TABLE 1020.2)	0 HOUR (A-3)	0 HOUR (I-2)
EXITS PER STORY (1006.3.3) SMOKE BARRIERS (709.3)	2 MINIMUM	2 MINIMUM
SMOKE COMPARTMENTS (407)	N/A	22,500 SF MAX

A0.	GENERAL INFORMATION, FIRE PROTECTION PLANS
AD1.	ARCHITECTURAL DEMOLITION
A1.	FLOOR PLANS, ROOF PLAN
A2.	ENLARGED PLANS
A3.	REFLECTED CEILING PLANS
A4.	SCHEDULES
A5.	EXTERIOR ELEVATIONS, BUILDING SECTIONS
A6.	WALL SECTIONS, AND EXTERIOR DETAILS
A7.	INTERIOR DETAILS, ELEVATIONS, SECTIONS
A8.	VERTICAL CIRCULATION
A9.	SPECIAL CONSTRUCTION

<u>HEALTH CENTER</u>		
<u>LEVEL</u>	<u>EXISTING BLDG. AREA</u>	<u>LEVEL 2 RENOVATION AREA</u>
FLOOR 2	24,196 sf	0 sf
FLOOR 3	54,948 sf	1,900 sf
FLOOR 4	33,910 sf	1,157 sf
TOTAL PROJECT BLDG. AREA	113,054 sf	3,057 sf (<small>>50% OF BUILDING AREA</small>)

PROJECT TITLE

Collington

A KENDAL AFFILIATE

S F C S | Architecture
Engineering
Planning
Interiors

DESIGNER : JGB	DRAWN : NSS
ARCHITECT : JGB	CHECKED : DDP
ENGINEER : SFCS, HWI	APPROVED : JGB
NO.	REVISION DESCRIPTION
	DATE

DRAWING TITLE

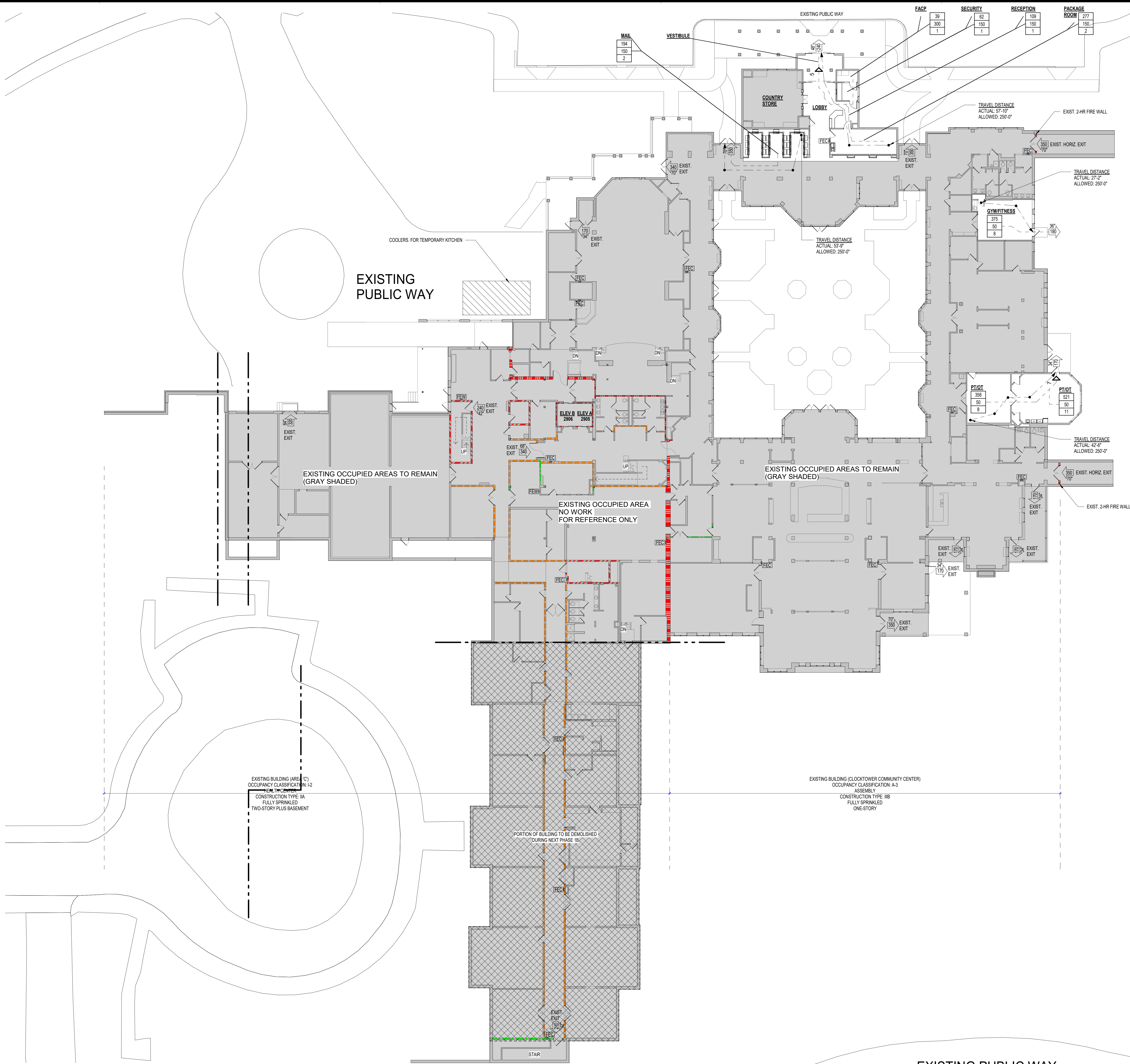
PROJECT DATA, SYMBOLS
AND ABBREVIATIONS

DATE: MAY 26, 2026	DRAWING G0.01-1A
COMM. NO. 18135.00	

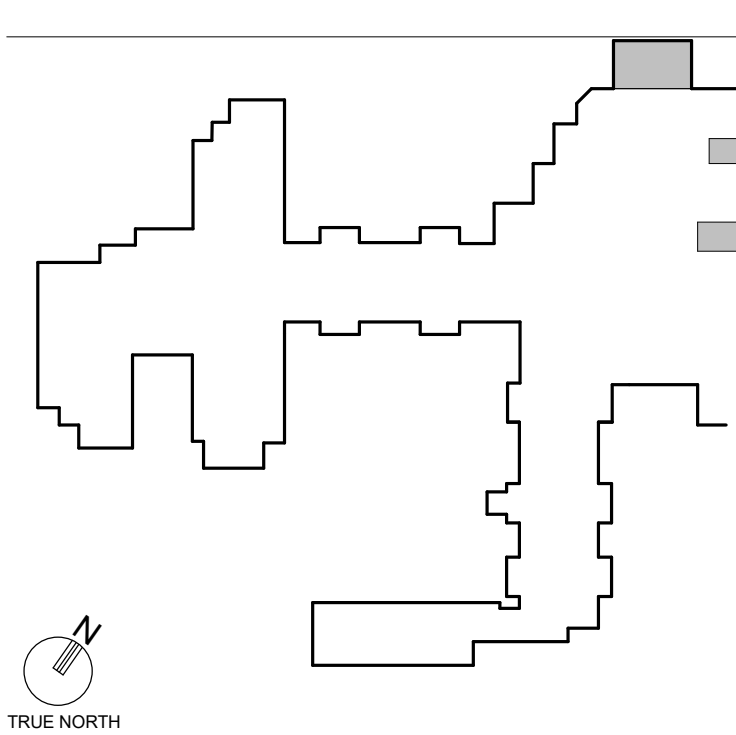
APPROVAL STAMPS

DIVISION 01 - GENERAL REQUIREMENTS	DIVISION 07 - THERMAL & MOISTURE PROTECTION	SECTION 081416 - FLUSH WOOD DOORS (CONT'D)	SECTION 081700 - DOOR HARDWARE (CONT'D)	DIVISION 11 - EQUIPMENT
<p>A. PRODUCT FORMS</p> <p>1. THE GENERAL CONDITIONS FOR PROJECT SHALL BE AS DOCUMENT A201-2017 "GENERAL CONDITIONS FOR THE CONTRACT FOR CONSTRUCTION".</p> <p>2. SUMMARY OF THE WORK</p> <p>A. RENOVATION OF NUMEROUS EXISTING SPACES ON THE 2ND, 3RD, & 4TH FLOOR OF AN EXISTING SENIOR LIVING COMMUNITY. 2ND FLOOR: THE EXISTING MAIL AREA WILL BE RENOVATED INTO A NEW MAIL AREA AND PACKAGE DELIVERY ROOM. THE RECEPTION & SECURITY AREA NEAR THE MAIN ENTRY WILL BE RENOVATED. THE EXISTING BOARD ROOM AND PERIODICAL ROOM WILL BE RENOVATED INTO PHYSICAL & OCCUPANTUAL THERAPY SPACES. THE EXISTING RECEPTION & STUDY ROOMS WILL BE RENOVATED INTO A TEMPORARY STORAGE SPACE. 3RD FLOOR: THE EXISTING FOOD SERVICE AREA, WHICH HAS BEEN SECONDARY TO THE MAIN DINING AREA, WILL BECOME THE MAIN FOOD SERVICE AREA DURING THE Ongoing Dining Renovation. A NEW PIECE OF KITCHEN EQUIPMENT WILL BE INSTALLED TO ACCOMMODATE THIS. 4TH FLOOR: EXISTING STAFF LOUNGE SPACES WILL BE RENOVATED INTO A TEMPORARY STORAGE SPACE. AN EXISTING NURSES STATION UTILITY ROOM WILL BE CONVERTED TO A TEMPORARY STAFF ROOM. A TEMPORARY EGRESS STAIR WILL BE ADDED, DESCENDING FROM THE 4TH TO 3RD FLOOR WITH A FIRE RATED CORRIDOR EXISTING TO GRADE FROM THE 3RD FLOOR. ON THE 4TH FLOOR, AN EXISTING STAFF LOUNGE AND ADJACENT SPACES WILL BE RENOVATED INTO A TEMPORARY KITCHEN.</p> <p>3. WORK SHALL BE CREATING NO DISRUPTION TO RESIDENTS AND TO ALLOW SAFE AND CONVENIENT RESIDENT AND STAFF CIRCULATION THROUGHOUT AND AROUND CONTRACTOR OPERATIONS.</p> <p>4. WORK HOURS WORK SCHEDULED: NOISE SHALL BE LIMITED TO THE HOURS OF 8:00 AM TO 5:00 PM UNLESS APPROVED IN ADVANCE BY THE OWNER.</p> <p>5. OCCUPIED SITE:</p> <p>A. THE CONTRACTOR AND ADJACENT BUILDINGS AND RESIDENCES WILL BE FULLY OCCUPIED AND OPERATIONAL THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE WITH OWNER OPERATIONS TO SCHEDULE ALL ASPECTS OF THE WORK TO MINIMIZE DISRUPTION TO THE RESIDENTS AND TO ALLOW SAFE AND CONVENIENT RESIDENT AND STAFF CIRCULATION THROUGHOUT AND AROUND CONSTRUCTION OPERATIONS AND SITE.</p> <p>B. CONTRACTOR SHALL PROVIDE MINIMUM 72 HOURS NOTICE TO THE OWNER OF DISRUPTION TO EXISTING UTILITY SERVICE, OR ROAD CLOSURES, ETC. THAT WOULD ALTER THE USUAL AND CUSTOMARY OPERATIONS OF THE OWNER AND RESIDENTS.</p> <p>6. SUBSTITUTIONS:</p> <p>A. ARCHITECT MANUFACTURER SHALL CONSIDER THE REQUEST FOR SUBSTITUTION DUE TO CHANGED PROJECT CONDITIONS, SUCH AS UNAVAILABILITY OF PRODUCT, REGULATORY CHANGES, OR UNAVAILABILITY OF REQUIRED WARRANTY TERMS. SUBSTITUTIONS FOR CONVENIENCE NOT ALLOWED.</p> <p>7. CHANGE PROCEDURES:</p> <p>A. CHANGE IN THE SCOPE OF WORK SHALL BE AUTHORIZED BY ISSUANCE OF AN FPM G101 "CHANGE ORDER" SIGNED BY THE OWNER, ARCHITECT & CONTRACTOR.</p> <p>8. SCHEDULE OF VALUES:</p> <p>A. THE CONTRACTOR SHALL SUBMIT A SCHEDULE OF VALUES WITH LINE ITEMS ALLOCATED TO THE VARIOUS PORTIONS OF THE WORK ON A DOCUMENT C103 AS SOON AS POSSIBLE, BUT NO LATER THAN SEVEN DAYS BEFORE THE DATE SCHEDULED FOR SUBMITTAL OF INITIAL APPLICATION FOR PAYMENT.</p> <p>9. APPLICATION FOR PAYMENT:</p> <p>A. THE CONTRACTOR SHALL SUBMIT APPLICATIONS FOR PAYMENT ON AN FPM G702 IN ACCORDANCE WITH THE CONTRACT REQUIREMENTS.</p> <p>10. PROJECT MANAGEMENT:</p> <p>A. THE CONTRACTOR SHALL SCHEDULE MONTHLY PROGRESS MEETINGS WITH THE OWNER AND ARCHITECT IN COORDINATION WITH REVIEW OF THE APPLICATION FOR PAYMENT.</p> <p>B. THE CONTRACTOR SHALL PROVIDE DAILY AND WEEKLY PROGRESS REPORTS INCLUDING A WEEKLY "LOOK AHEAD" SCHEDULE. RPTS SHALL BE SUBMITTED THROUGH ARCHITECT'S NEWFORMA ONLINE SOFTWARE PROGRAM.</p> <p>11. SUBMITTAL PROCEDURES:</p> <p>A. SUBMIT AN ELECTRONIC COPY EACH OF PRODUCT DATA PD AND SHOP DRAWINGS (SD) FOR ALL MATERIALS SPECIFIED BELOW AS INDICATED BY SYMBOLS THROUGH ARCHITECT'S NEWFORMA ONLINE SOFTWARE PROGRAM.</p> <p>B. PROVIDE PHOTOS (FRONT & BACK OF SAMPLE) WITH SUBMITTAL FOR EACH MATERIAL (COMPONENT IN EACH COLOR & PATTERN AS INDICATED ON DRAWING).</p> <p>C. PHYSICAL SAMPLES TO BE PROVIDED IF ALTERNATES ARE UNDER REVIEW OR IF A PRODUCT COUNTERPART HAS NOT BEEN INDICATED ON DRAWINGS.</p> <p>12. QUALITY REQUIREMENTS:</p> <p>A. THE OWNER WILL EMPLOY A TESTING AGENCY TO PERFORM REQUIRED SPECIAL INSPECTIONS INCLUDING SOIL BEARING, CONCRETE, MASONRY AND REINFORCEMENT, AND AS INDICATED BY STRUCTURAL SPECIFICATIONS.</p> <p>13. TEMPORARY UTILITIES AND CONTROLS:</p> <p>A. TEMPORARY UTILITIES: THE CONTRACTOR MAY USE THE OWNER'S UTILITIES AS APPROVED BY THE OWNER. OFFICE SPACE: THE CONTRACTOR IS RESPONSIBLE FOR THEIR OWN OFFICE SPACE. COORDINATE LOCATION OF OFFICE SPACE, OFFICE AND ON-SITE CONSTRUCTION AND STORAGE TRAILERS WITH THE OWNER.</p> <p>B. SANITATION: CONTRACTOR SHALL PROVIDE ON-SITE PORTABLE TOILETS FOR WORKERS.</p> <p>C. PARKING: CONTRACTOR SHALL COORDINATE ON-SITE PARKING LOCATION WITH OWNER. IF TEMPORARY PARKING LOTS ARE NEEDED AND APPROVED BY THE OWNER, THE CONTRACTOR WILL BE RESPONSIBLE FOR CONSTRUCTING THE LOT AND RESTORING THE SITE TO ITS CONDITION PRIOR TO CONSTRUCTION.</p> <p>D. BARRIERS: THE CONTRACTOR SHALL FURNISH, INSTALL, AND MAINTAIN SUITABLE FENCES AND BARRIERS AS REQUIRED TO PREVENT PUBLIC ENTRY TO HAZARDOUS AREAS, TO PROVIDE FOR PUBLIC SAFETY, AND TO PROTECT THE WORK, AND EXISTING PLANTS, TREES AND PLANTS FROM CONSTRUCTION OPERATIONS. REMOVE WHEN NO LONGER NEEDED, OR AT COMPLETION OF WORK.</p> <p>14. PROJECT RECORD DOCUMENTS:</p> <p>A. THE CONTRACTOR SHALL MAINTAIN A RECORD SET OF CONTRACT DOCUMENTS, INDICATED BY PHASE, TO INDICATE THE "AS BUILT" CONDITIONS. COMPLETE TWO COPIES OF PRODUCT DATA, WARRANTIES AND OPERATING AND MAINTENANCE INSTRUCTIONS IN MANUALS APPROPRIATE FOR OWNERS' MAINTENANCE AND OPERATION PERSONNEL.</p> <p>B. DELIVER EXTRA MATERIALS TO OWNER AS DESCRIBED IN SPECIFICATIONS, IDENTIFIED WITH APPROPRIATE LABELS, TO LOCATION INDICATED BY OWNER.</p> <p>15. DEMONSTRATION AND TRAINING:</p> <p>A. INSTRUCT OWNERS PERSONNEL IN OPERATION AND MAINTENANCE OF SYSTEMS AND EQUIPMENT.</p>	<p>DIVISION 07 - THERMAL & MOISTURE PROTECTION</p> <p>1. INSULATION (SUBMITTALS: PD)</p> <p>A. GLASS-FIBER BATT INSULATION:</p> <p>1. EXTERIOR WALLS: R-19 2" X 4" BATT FACING BATT INSULATION AT 4" STEEL STUD JOINT WALLS</p> <p>2. INTERIOR WALL ACUSTIC INSULATION: 3.10 INCH UNFACED BATT INSULATION</p> <p>3. FIRE PERFORMANCE CHARACTERISTICS: MAXIMUM FLOOR SPREAD AND SMOKE DEVELOPED INDEXES OF 25 AND 50 RESPECTIVELY PER ASTM E84, PASSING ASTM E84 FOR COMBUSTION CHARACTERISTICS</p> <p>4. PROVIDE PRODUCTS BY CERTAINTED, JOHNS MANVILLE OR OWENS-CORNING</p> <p>B. INTERIOR SEALANT: ACRYLIC LATEX, ASTM C624, TYPE OF GRADE NF</p> <p>1. PROVIDE PRODUCTS BY BASF, SONDOLAC, PECORA, AC-208 OR TREMCO TREM-FLEX 804</p> <p>2. ANSYS/MA 1.5, A QUALITY GRADE, CUSTOM</p> <p>4. FACES: HARDSHORE OR WSP</p> <p>5. HARDSHORE FACES AND A15.4, CLASS 1 (TEMPERED) OR CLASS 2 (STANDARD)</p> <p>6. JOINT FILLING: ACRYLIC LATEX, ASTM C624, TYPE OF GRADE NF</p> <p>7. PROVIDE PRODUCTS BY BASF, SONDOLAC, PECORA, AC-208 OR TREMCO TREM-FLEX 804</p> <p>8. FACES: HARDSHORE OR WSP</p> <p>9. HARDSHORE FACES AND A15.4, CLASS 1 (TEMPERED) OR CLASS 2 (STANDARD)</p> <p>10. PROVIDE PRODUCTS BY BASF, SONDOLAC, PECORA, AC-208 OR TREMCO TREM-FLEX 804</p> <p>11. PROVIDE PRODUCTS BY BASF, SONDOLAC, PECORA, AC-208 OR TREMCO TREM-FLEX 804</p> <p>12. PROVIDE PRODUCTS BY BASF, SONDOLAC, PECORA, AC-208 OR TREMCO TREM-FLEX 804</p> <p>13. PROVIDE PRODUCTS BY BASF, SONDOLAC, PECORA, AC-208 OR TREMCO TREM-FLEX 804</p> <p>14. 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APPROVAL STAMPS



KEY PLAN



LIFE SAFETY LEGEND

- SMOKE PARTITION (EXISTING)
- 1 HR SMOKE BARRIER
- 1 HR FIRE PARTITION
- 1 HR FIRE BARRIER
- 2 HR FIRE BARRIER (EXISTING)
- 2 HR RATED FIRE WALL (EXISTING)

EGRESS LEGEND

OCCUPANT LOAD CALCULATIONS	
3000	FLOOR AREA IN S.F.
100	ALLOWABLE S.F. PER PERSON
30	OCCUPANT LOAD

MEANS OF EGRESS

- NUMBER OF OCCUPANTS ALONG EGRESS PATH
- PATH OF EGRESS

EGRESS CAPACITY OF EXITS

- ALONG EGRESS PATH WIDTH OF EGRESS COMPONENT
- CODE ALLOWED WIDTH/PERSON
- CAPACITY OF EGRESS COMPONENT

BUILDING OCCUPANT LOAD

2ND FLOOR HEALTH CENTER IIA

EXISTING EXIT CAPACITY: 1,280 OCCUPANTS

OCCUPANT LOAD (IBC TABLE 1004.5)	
BUSINESS	134
ACCESSORY MECH.	52
TOTAL	186 OCCUPANTS

COMMUNITY CENTER A-3

EXISTING EXIT CAPACITY: 2,320 OCCUPANTS

OCCUPANT LOAD (IBC TABLE 1004.5)	
DINING/LIVING	686
ASSEMBLY	454
BUSINESS	149
EXERCISE	27
ACCESSORY MECH.	15
TOTAL	1,331 OCCUPANTS

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed registered architect under the laws of the State of Maryland, License No. 21272, Expiration Date: 9/28/2026

PROJECT TITLE

Collington
A KENDAL AFFILIATE

ENABLING RENOVATION
CONSTRUCTION DOCUMENTS

SFCS Architecture
Engineering
Planning
Interiors

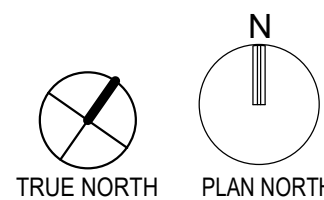
SFCS Inc. • 305 South Jefferson Street
Roanoke, Virginia 24011.2003
540.344.6664 • Fax 540.343.6925
www.sfcs.com

DESIGNER : JGB	DRAWN : NSS	
ARCHITECT : JGB	CHECKED : DDP	
ENGINEER : SFCS, HWI	APPROVED : JGB	
NO.	REVISION DESCRIPTION	DATE

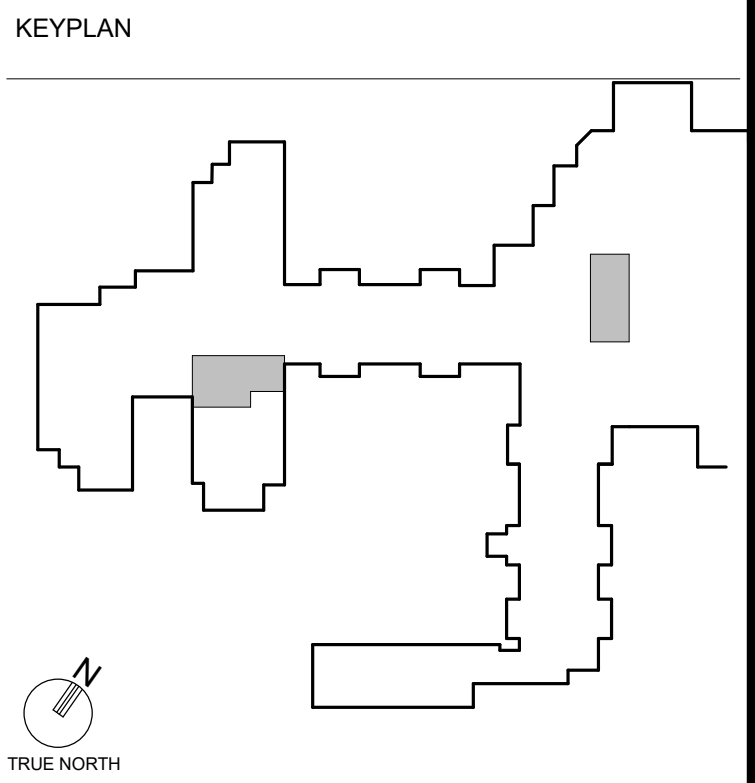
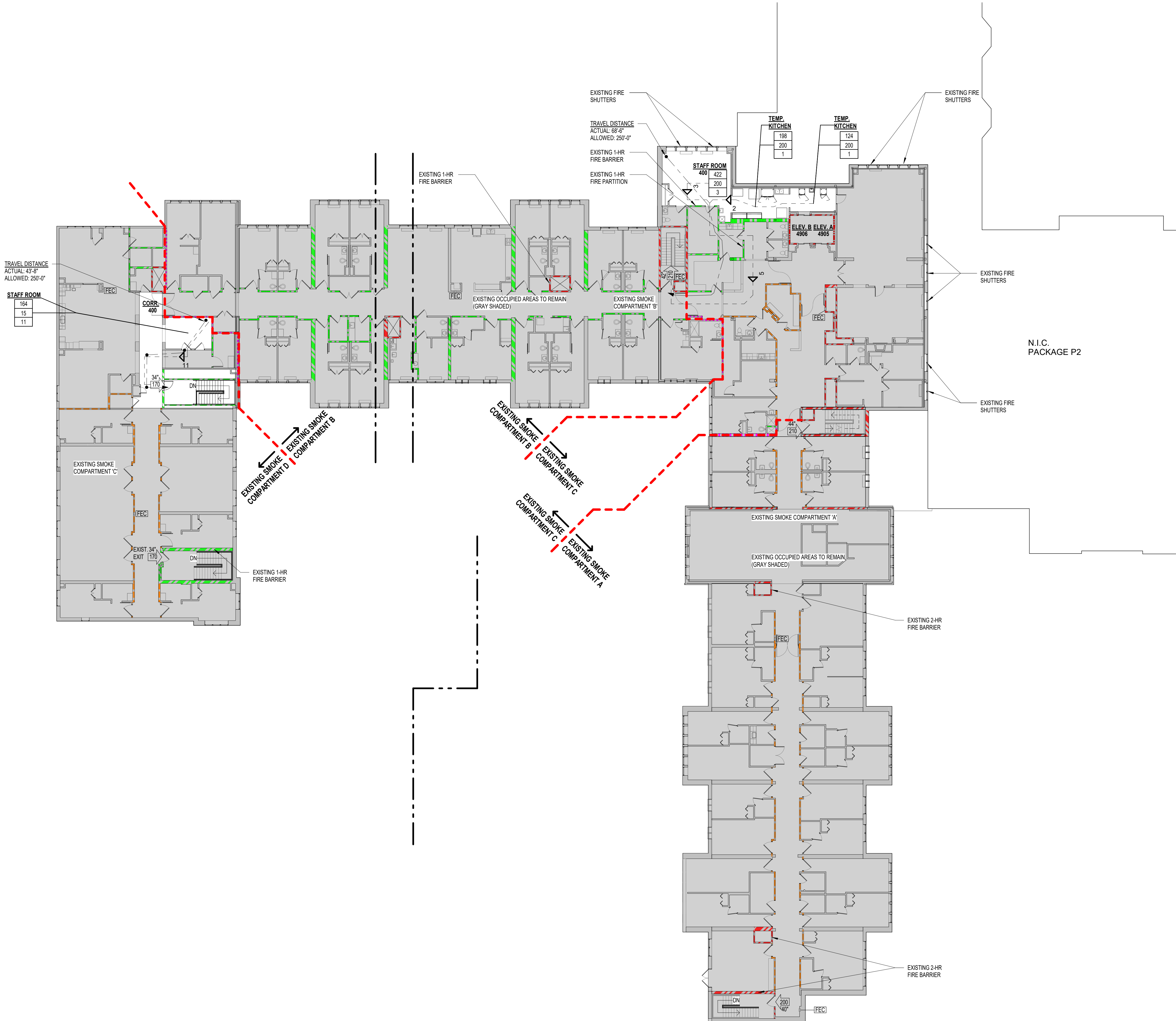
DRAWING TITLE
2ND FLOOR LIFE SAFETY
PLAN

DATE: MAY 28, 2026	DRAWING
COMM. NO. 18135.00	A0.20-1A

1 SECOND FLOOR LIFE SAFETY PLAN
1/16" = 1'-0"



APPROVAL STAMPS



- LIFE SAFETY LEGEND
- SMOKE PARTITION (EXISTING)
 - 1 HR SMOKE BARRIER
 - 1 HR FIRE PARTITION
 - 1 HR FIRE BARRIER
 - 2 HR FIRE BARRIER (EXISTING)
 - 2 HR RATED FIRE WALL (EXISTING)

EGRESS LEGEND

OCCUPANT LOAD CALCULATIONS	
3000	FLOOR AREA IN S.F.
100	ALLOWABLE S.F. PER PERSON
30	OCCUPANT LOAD

- MEANS OF EGRESS
- NUMBER OF OCCUPANTS ALONG EGRESS PATH
 - PATH OF EGRESS

- EGRESS CAPACITY OF EXITS
- ALONG EGRESS PATH WIDTH OF EGRESS COMPONENT
 - CODE ALLOWED WIDTH / PERSON
 - CAPACITY OF EGRESS COMPONENT

BUILDING OCCUPANT LOAD

4TH FLOOR HEALTH CENTER 14	
EXIT CAPACITY	790 OCCUPANTS
OCCUPANT LOAD (IBC TABLE 1004.5)	
BUSINESS	43
DINING / LIVING	431
RESIDENT ROOMS	20 (ACTUAL = 43)
ACCESSORY / MECH.	3
TOTAL	580 OCCUPANTS

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed registered architect under the laws of the State of Maryland, License No. 21072, Expiration Date: 9/28/2026

PROJECT TITLE
Collington
A KENDAL AFFILIATE

ENABLING RENOVATION
CONSTRUCTION DOCUMENTS

SFCS Architecture
Engineering
Planning
Interiors

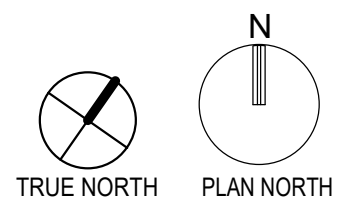
SFCS Inc. • 305 South Jefferson Street
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DESIGNER : JGB	DRAWN : NSS	
ARCHITECT : JGB	CHECKED : DDP	
ENGINEER : SFCS, HWI	APPROVED : JGB	
NO.	REVISION DESCRIPTION	DATE

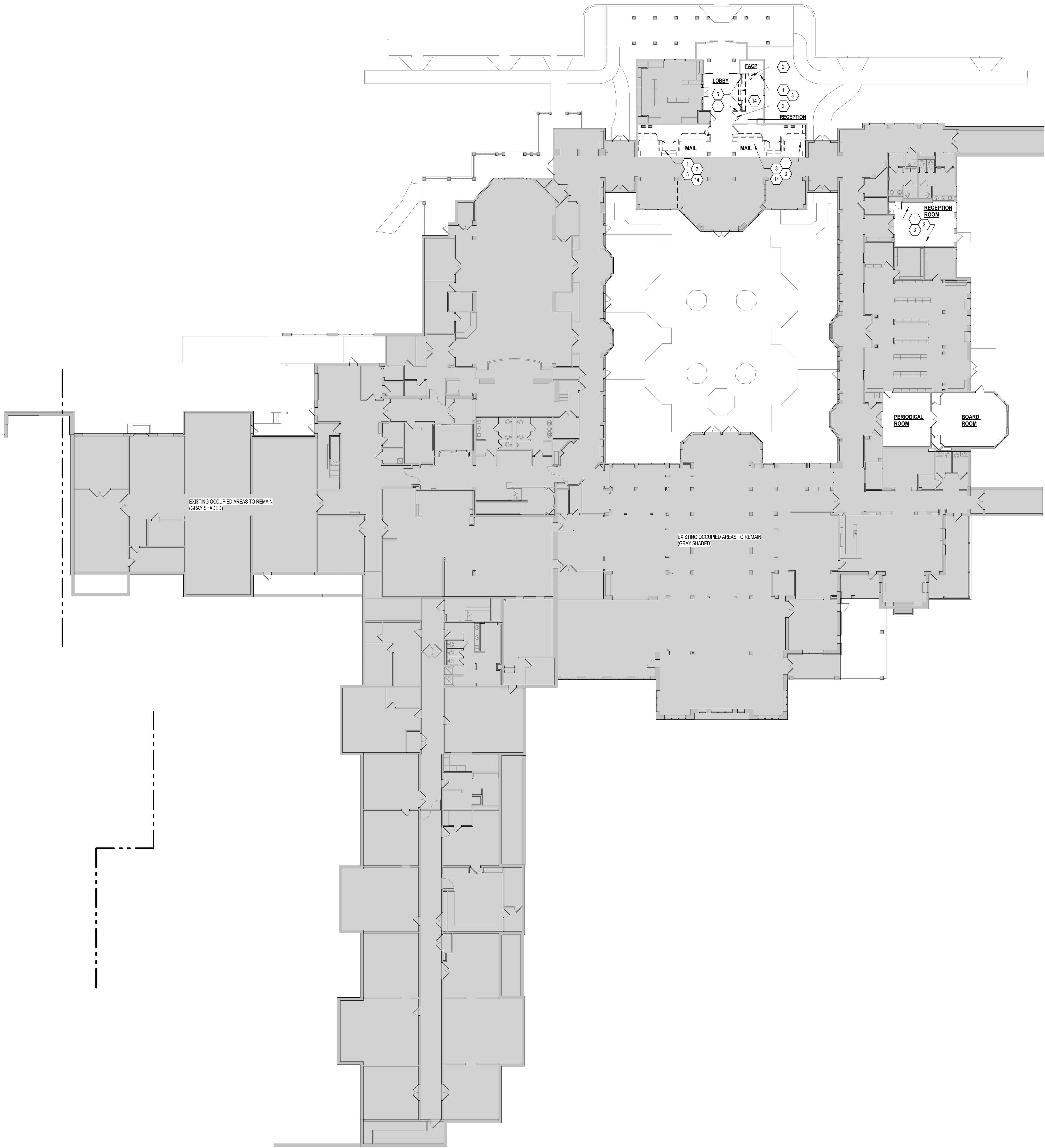
DRAWING TITLE
4TH FLOOR LIFE SAFETY PLAN

DATE: MAY 28, 2026	DRAWING
COMM. NO. 18135.00	A0.40-1A

FOURTH FLOOR LIFE SAFETY PLAN
1/16" = 1'-0"



APPROVAL STAMPS

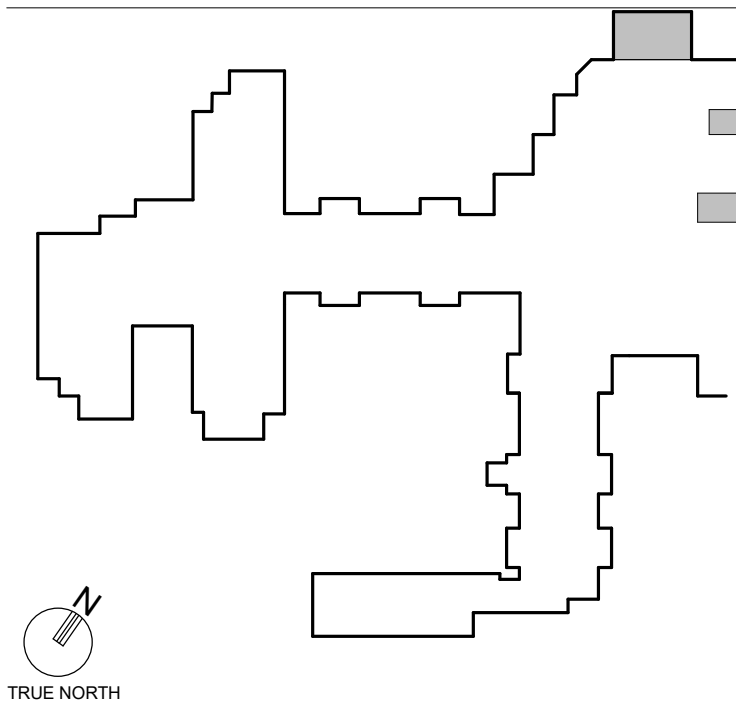


GENERAL DEMOLITION NOTES

- BEFORE WORK HAS BEGUN, CONTRACTORS SHALL MAKE A THOROUGH SURVEY OF THE BUILDING AND NOTIFY THE OWNER IN WRITING OF ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THOSE SHOWN ON THE DRAWINGS. FAILURE BY THE CONTRACTOR TO HAVE ACCQUAINTED HIMSELF WITH AVAILABLE INFORMATION CONCERNING EXISTING CONDITIONS SHALL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITIES OF PERFORMANCE OF WORK IN ACCORDANCE WITH REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- THESE DRAWINGS HAVE BEEN DEVELOPED FROM EXISTING DRAWINGS AND MAY NOT REFLECT ACTUAL FIELD CONDITIONS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS AND NOTIFY THE ARCHITECT IN WRITING OF ANY WORK DESCRIBED IN THE CONTRACT DOCUMENTS WHICH CANNOT BE PERFORMED DUE TO EXISTING CONDITIONS.
- PROTECT FROM DAMAGE ALL MATERIALS TO REMAIN.
- CONTRACTOR SHALL USE CAUTION WHEN PERFORMING DEMOLITION AT OR NEAR FIRE-RATED WALLS OR SHAFTS SO AS NOT TO DISRUPT INTEGRITY OF THE FIRE RATING OF THE WALLS OR SHAFTS AND REPAIR DAMAGE TO WALLS OR SHAFTS AS REQUIRED, TO ENSURE CONDITIONS RATING. REPAIR ADJACENT SURFACES AS REQUIRED TO RECEIVE NEW FINISH.
- DEMOLITION WORK INCLUDES, BUT IS NOT NECESSARILY LIMITED TO THOSE ITEMS NOTED. OTHER ITEMS OF A MINOR NATURE WHICH MAY EXIST BUT ARE NOT SPECIFICALLY NOTED ON THE DRAWINGS ARE TO BE REMOVED AS REQUIRED, TO PROVIDE ACCESS AND ALLOW ALTERATION OR NEW WORK TO PROCEED. REPAIR ADJACENT SURFACES AS REQUIRED TO RECEIVE NEW FINISHES.
- NOT ALL MECHANICAL, ELECTRICAL AND PLUMBING EQUIPMENT WHICH IS REQUIRED TO BE REMOVED IS SHOWN. CONTRACTOR SHALL REMOVE ALL SUCH EQUIPMENT WHICH WILL INTERFERE WITH NEW CONSTRUCTION. EQUIPMENT WHICH WILL NO LONGER BE USED (E.G. PIPES, CONDUITS AND DUCTS) SHALL BE REMOVED COMPLETELY BACK TO THE POINT OF SERVICE AND CAPPED OR PLUGGED. ALSO SEE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION NOTES.
- IF ANY HAZARDOUS MATERIALS ARE ENCOUNTERED BY THE GENERAL CONTRACTOR, INCLUDING BUT NOT LIMITED TO MATERIALS CONTAINING ASBESTOS, LEAD PAINT, ETC., WORK IS TO BE STOPPED AND THE ARCHITECT IMMEDIATELY NOTIFIED.
- WHERE PLUMBING FIXTURES ARE NOTED TO BE REMOVED, ALL ASSOCIATED TOILET ACCESSORIES SHALL ALSO BE REMOVED.
- REMOVE OR MODIFY EXISTING CONSTRUCTION AS SHOWN. TYPICAL WALL AND CEILING REMOVAL INCLUDES FINISHES, TRIM, BASES, DOORS AND FRAMES, MECHANICAL, PLUMBING AND ELECTRICAL SYSTEMS CONTAINED THEREIN UNLESS NOTED OTHERWISE. REMOVE ALL EXISTING DEVICES (SWITCHES, RECEPTACLES, TELEPHONE, CONDUIT, WIRE, ETC.) IN EXISTING WALLS TO BE REMOVED. REMOVE EXISTING LIGHT FIXTURES, DIFFUSERS, SPEAKERS, CONDUIT, WIRE, ETC. WHERE EXISTING CEILING IS TO BE REMOVED, SAW CUT SLAB ON GRADE AS REQUIRED TO ACCOMMODATE NEW UNDERGROUND UTILITY LINES AND PATCH SLAB FLUSH W/ EXIST. DOWEL NEW EXIST AS READ TO PREVENT SETTLEMENT.
- AREAS OF EXISTING SURFACES NOT SCHEDULED FOR DEMOLITION WHICH BECOME DAMAGED, SHALL BE PATCHED OR REPAIRED TO MATCH ADJACENT SURFACE THICKNESS, FINISH AND TEXTURE. NEW WORK SHALL BE PRIMED PRIOR TO RECEIVING FINISH COATS.
- ALL EXISTING WALLS AND PARTITIONS THAT ARE SCHEDULED TO REMAIN AND RECEIVE NEW FINISHES SHALL BE PATCHED, REPAIRED, OR RESURFACED AS REQUIRED TO PROVIDE A SMOOTH SURFACE FOR THE NEW FINISHES. REPAIR ADJACENT SURFACES AS REQUIRED TO RECEIVE NEW FINISH.
- ALL EXISTING FLOOR AND WALL SURFACES THAT HAVE BEEN DAMAGED BY THIS RENOVATION SHALL BE REPAIRED OR PATCHED TO MATCH THEIR FINISH PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF DEMOLITION OF EXISTING CONCRETE SLAB FOR THE INSTALLATION OF PLUMBING WORK. REFER TO PLUMBING DRAWINGS FOR EXTENT OF WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL SHORING AND BRACING NECESSARY TO PROTECT EXISTING CONSTRUCTION TO REMAIN. CONTRACTOR SHALL PROVIDE SUITABLE SHORING AND BRACING AS REQUIRED TO SUPPORT LOADS IMPOSED OR RESULTING FROM DEMOLITION WORK. REFER TO SPECIFICATION SECTION 02150 AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- DEMOLITION SHALL NOT LEAVE THE BUILDING INTERIOR WITHOUT WEATHER PROTECTION. ALL DEMOLITION OF EXTERIOR SURFACES & ASSEMBLIES, INCLUDING OPENINGS SHALL BE IMMEDIATELY FOLLOWED BY PROTECTIVE CONSTRUCTION. TEMPORARY ENCLOSURES & OPENING PROTECTIONS SHALL BE MAINTAINED CONTINUOUSLY UNTIL NEW PERMANENT EXTERIOR CLOSURE IS COMPLETED.
- EXISTING BUILDING IN SIGHT WILL REMAIN FULLY OCCUPIED IN OPERATIONAL AREAS ADJACENT TO CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL ERECT CONSTRUCTION BARRIERS TO SEPARATE CONSTRUCTION ACTIVITIES FROM OCCUPIED SPACES. TEMPORARY BARRIERS SHALL PROVIDE SAFETY NOISE DUST AND SECURITY CONTROL. EXIT ROUTES FROM OCCUPIED SPACES SHALL BE MAINTAINED AT ALL TIMES. FIRE ALARM AND FIRE PROTECTION SYSTEMS MUST BE MAINTAINED AT ALL TIMES.
- THE OWNER SHALL BE NOTIFIED A MINIMUM OF 72 HOURS PRIOR TO ANY SHUTDOWN OF EXISTING SYSTEMS, UTILITIES, ETC. OR IF ANY EXISTING ROOM OR SPACE NEEDS TO BE TEMPORARILY VACATED.
- THE OWNER SHALL BE NOTIFIED A MINIMUM OF 72 HOURS PRIOR TO THE NEED FOR AFTER HOURS, NIGHTTIME, OR WEEK-END WORK.

1 SECOND FLOOR DEMOLITION PLAN
1/16" = 1'-0"

KEYPLAN



GENERAL NOTES

DEMOLITION NOTES

- REMOVE INTERIOR WALL. REMOVE ASSOC. ANCHORS AND BRACKETS. PATCH FLOORS, WALLS, & CEILING AS REQUIRED.
- REMOVE EXISTING DOOR, FRAME & HARDWARE.
- REMOVE EXISTING CASEWORK.
- DEMOLISH BUILDING IN ENTIRETY FROM FOUNDATION UP. INFILL AS NEEDED. RE-STRUCTURAL AND MECHANICAL.
- REMOVE WINDOW.
- REMOVE EXISTING PLUMBING FIXTURE.
- REMOVE CHIMNEY, FIREPLACE AND SURROUND.
- REMOVE KITCHEN EXHAUST, EQUIPMENT, DUCTS AND APPLIANCE.
- DEMOLISH INDICATED PORTION OF STRUCTURAL WALL.
- DEMOLISH FLOOR SLAB.
- DEMOLISH ROOF.
- DEMOLISH RETAINING WALL AND REMOVE EXCESS FILL.
- DEMOLISH BRICK VENEER.
- DEMOLISH EXISTING CEILING.
- REMOVE FRYER & GRIDDLE.

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed registered architect under the laws of the State of Maryland, License No. 21072, Expiration Date: 9/20/2025.

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Collington
A KENDAL AFFILIATE

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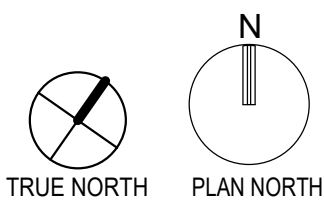
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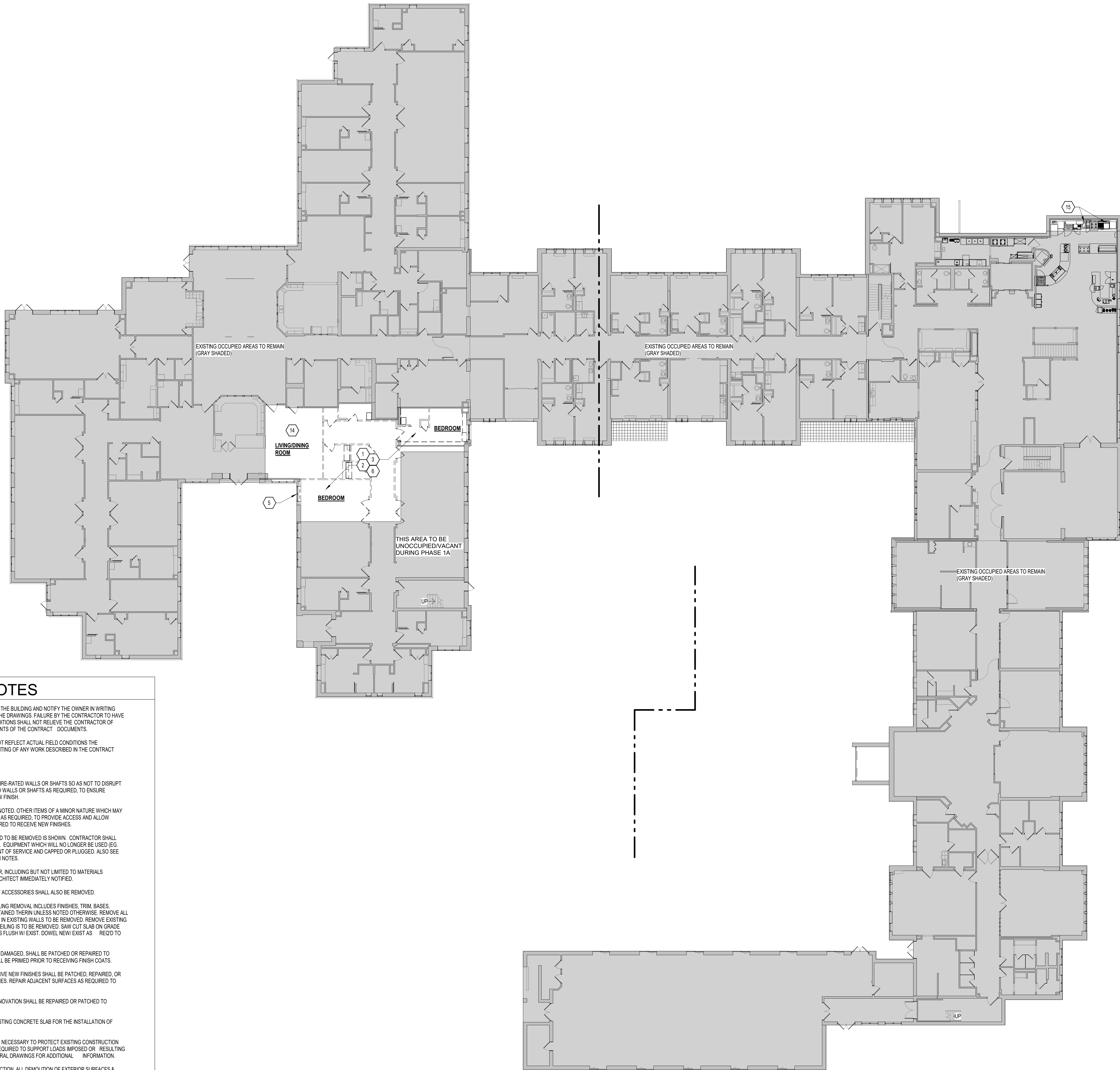
DESIGNER : JGB DRAWN : NSS
ARCHITECT : JGB CHECKED : DDP
ENGINEER : SFCS/HW APPROVED : JGB

NO. REVISION DESCRIPTION DATE

DRAWING TITLE
2ND FLOOR DEMOLITION
PLAN

DATE: MAY 28, 2025
COMM. NO. 18135.00
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AD1.20-1A



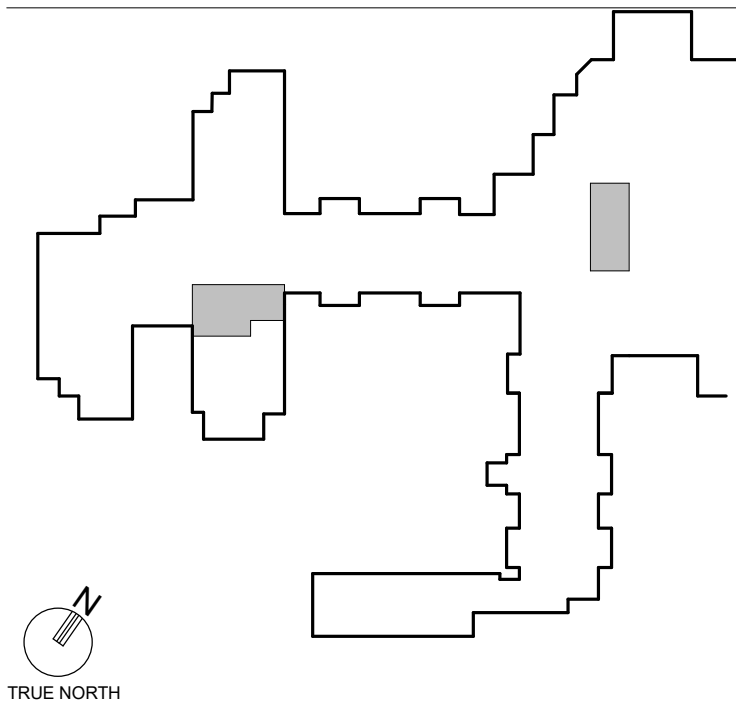


GENERAL DEMOLITION NOTES

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- THESE DRAWINGS HAVE BEEN DEVELOPED FROM EXISTING DRAWINGS AND MAY NOT REFLECT ACTUAL FIELD CONDITIONS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS AND NOTIFY THE ARCHITECT IN WRITING OF ANY WORK DESCRIBED IN THE CONTRACT DOCUMENTS WHICH CANNOT BE PERFORMED DUE TO EXISTING CONDITIONS.
- PROTECT FROM DAMAGE ALL MATERIALS TO REMAIN.
- CONTRACTOR SHALL USE CAUTION WHEN PERFORMING DEMOLITION AT OR NEAR FIRE-RATED WALLS OR SHAFTS SO AS NOT TO DISRUPT INTEGRITY OF THE FIRE RATING OF THE WALLS OR SHAFTS AND REPAIR DAMAGE TO WALLS OR SHAFTS AS REQUIRED. TO ENSURE CONDITIONS RATINGS REPAIR ADJACENT SURFACES AS REQUIRED TO RECEIVE NEW FINISH.
- DEMOLITION WORK INCLUDES, BUT IS NOT NECESSARILY LIMITED TO THOSE ITEMS NOTED. OTHER ITEMS OF A MINOR NATURE WHICH MAY EXIST BUT ARE NOT SPECIFICALLY NOTED ON THE DRAWINGS ARE TO BE REMOVED AS REQUIRED. TO PROVIDE ACCESS AND ALLOW ALTERATION OR NEW WORK TO PROCEED. REPAIR ADJACENT SURFACES AS REQUIRED TO RECEIVE NEW FINISHES.
- NOT ALL MECHANICAL, ELECTRICAL AND PLUMBING EQUIPMENT WHICH IS REQUIRED TO BE REMOVED IS SHOWN. CONTRACTOR SHALL REMOVE ALL SUCH EQUIPMENT WHICH WILL INTERFERE WITH NEW CONSTRUCTION. EQUIPMENT WHICH WILL NO LONGER BE USED (E.G. PIPES, CONDUITS AND DUCTS) SHALL BE REMOVED COMPLETELY BACK TO THE POINT OF SERVICE AND CAPPED OR PLUGGED. ALSO SEE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION NOTES.
- IF ANY HAZARDOUS MATERIALS ARE ENCOUNTERED BY THE GENERAL CONTRACTOR, INCLUDING BUT NOT LIMITED TO MATERIALS CONTAINING ASBESTOS, LEAD, PAINT, ETC., WORK IS TO BE STOPPED AND THE ARCHITECT IMMEDIATELY NOTIFIED.
- WHERE PLUMBING FIXTURES ARE NOTED TO BE REMOVED, ALL ASSOCIATED TOILET ACCESSORIES SHALL ALSO BE REMOVED.
- REMOVE OR MODIFY EXISTING CONSTRUCTION AS SHOWN. TYPICAL WALL AND CEILING REMOVAL INCLUDES FINISHES, TRIM, BASES, DOORS, AND FRAMES. MECHANICAL, PLUMBING AND ELECTRICAL SYSTEMS CONTAINED THEREIN UNLESS NOTED OTHERWISE. REMOVE ALL EXISTING DEVICES (SWITCHES, RECEPTACLES, TELEPHONE, CONDUIT, WIRE, ETC.) IN EXISTING WALLS TO BE REMOVED. REMOVE EXISTING LIGHT FIXTURES, DIFFUSERS, SPEAKERS, CONDUIT, WIRE, ETC. WHERE EXISTING CEILING IS TO BE REMOVED. SAW CUT SLAB ON GRADE AS REQUIRED TO ACCOMMODATE NEW UNDERGROUND UTILITY LINES AND PATCH SLABS FLUSH WITH EXIST. CONCRETE. NEW EXIST AS REQUIRED TO PREVENT SETTLEMENT.
- AREAS OF EXISTING SURFACES NOT SCHEDULED FOR DEMOLITION WHICH BECOME DAMAGED, SHALL BE PATCHED OR REPAIRED TO MATCH ADJACENT SURFACE THICKNESS, FINISH AND TEXTURE. NEW WORK SHALL BE PRIMED PRIOR TO RECEIVING FINISH COATS.
- ALL EXISTING WALLS AND PARTITIONS THAT ARE SCHEDULED TO REMAIN AND RECEIVE NEW FINISHES SHALL BE PATCHED, REPAIRED, OR RESURFACED AS REQUIRED TO PROVIDE A SMOOTH SURFACE FOR THE NEW FINISHES. REPAIR ADJACENT SURFACES AS REQUIRED TO RECEIVE NEW FINISH.
- ALL EXISTING FLOOR AND WALL SURFACES THAT HAVE BEEN DAMAGED BY THIS RENOVATION SHALL BE REPAIRED OR PATCHED TO MATCH THEIR FINISH PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF DEMOLITION OF EXISTING CONCRETE SLAB FOR THE INSTALLATION OF PLUMBING WORK. REFER TO PLUMBING DRAWINGS FOR EXTENT OF WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL SHORING AND BRACING NECESSARY TO PROTECT EXISTING CONSTRUCTION TO REMAIN. CONTRACTOR SHALL PROVIDE SUITABLE SHORING AND BRACING AS REQUIRED TO SUPPORT LOADS IMPOSED OR RESULTING FROM DEMOLITION WORK. REFER TO SPECIFICATION SECTION 02150 AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- DEMOLITION SHALL NOT LEAVE THE BUILDING INTERIOR WITHOUT WEATHER PROTECTION. ALL DEMOLITION OF EXTERIOR SURFACES & ASSEMBLIES, INCLUDING OPENINGS SHALL BE IMMEDIATELY FOLLOWED BY PROTECTIVE CONSTRUCTION. TEMPORARY ENCLOSURES & OPENING PROTECTIONS SHALL BE MAINTAINED CONTINUOUSLY UNTIL NEW PERMANENT EXTERIOR CLOSURE IS COMPLETED.
- EXISTING BUILDING IN SIGHT WILL REMAIN FULLY OCCUPIED IN OPERATIONAL. IN AREAS ADJACENT TO CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL ERECT CONSTRUCTION BARRIERS TO SEPARATE CONSTRUCTION ACTIVITIES FROM OCCUPIED SPACES. TEMPORARY BARRIERS SHALL PROVIDE SAFETY NOISE, DUST AND SECURITY CONTROL. EXIT ROUTES FROM OCCUPIED SPACES SHALL BE MAINTAINED AT ALL TIMES. FIRE ALARM AND FIRE PROTECTION SYSTEMS MUST BE MAINTAINED AT ALL TIMES.
- THE OWNER SHALL BE NOTIFIED A MINIMUM OF 72 HOURS PRIOR TO ANY SHUTDOWN OF EXISTING SYSTEMS, UTILITIES, ETC. OR IF ANY EXISTING ROOM OR SPACE NEEDS TO BE TEMPORARILY VACATED.
- THE OWNER SHALL BE NOTIFIED A MINIMUM OF 72 HOURS PRIOR TO THE NEED FOR AFTER HOURS, NIGHTTIME, OR WEEK-END WORK.

1 THIRD FLOOR DEMOLITION PLAN
1/16" = 1'-0"

KEY PLAN



GENERAL NOTES

DEMOLITION NOTES

- REMOVE INTERIOR WALL, REMOVE ASSOC. ANCHORS AND BRACKETS. PATCH FLOORS, WALLS, & CEILINGS AS REQUIRED.
- REMOVE EXISTING DOOR, FRAME & HARDWARE.
- REMOVE EXISTING CASEWORK.
- DEMOLISH BUILDING IN ENTIRETY FROM FOUNDATION UP. INFILL AS NEEDED. RE-STRUCTURAL AND MECHANICAL.
- REMOVE WINDOW.
- REMOVE EXISTING PLUMBING FIXTURE.
- REMOVE CHIMNEY, FIREPLACE AND SURROUND.
- REMOVE KITCHEN EXHAUST, EQUIPMENT, DUCTS AND APPURTENANCES.
- DEMOLISH INDICATED PORTION OF STRUCTURAL WALL.
- DEMOLISH FLOOR SLAB.
- DEMOLISH ROOF.
- DEMOLISH RETAINING WALL AND REMOVE EXCESS FILL.
- DEMOLISH BRICK VENEER.
- DEMOLISH EXISTING CEILING.
- REMOVE FRYER & GRIDDLE.

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed registered architect under the laws of the State of Maryland, License No. 21072, Expiration Date: 9/20/2026.

PROJECT TITLE

Collington
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ENABLING RENOVATION
CONSTRUCTION DOCUMENTS

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Interiors

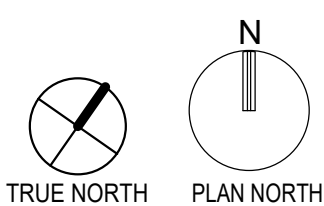
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Roanoke, Virginia 24011.2003
540.344.6664 • Fax 540.343.6925
www.sfcsc.com

DESIGNER : JGB DRAWN : NSS
ARCHITECT : JGB CHECKED : DDP
ENGINEER : SFCs, HWY APPROVED : JGB

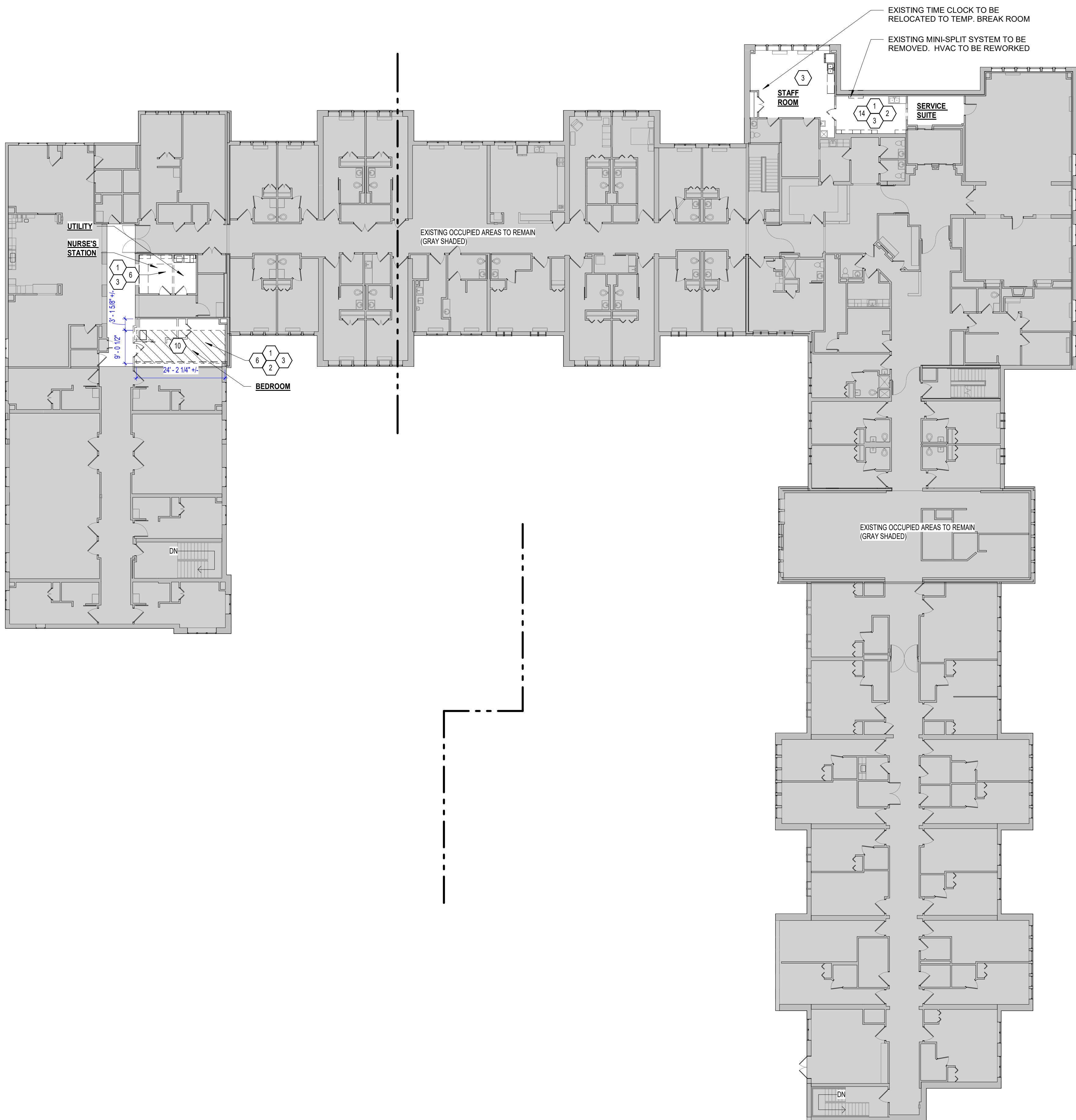
NO. REVISION DESCRIPTION DATE

DRAWING TITLE
3RD FLOOR DEMOLITION
PLAN

DATE: MAY 28, 2025 DRAWING
COMM. NO. 18135.00
AD1.30-1A



APPROVAL STAMPS



GENERAL DEMOLITION NOTES

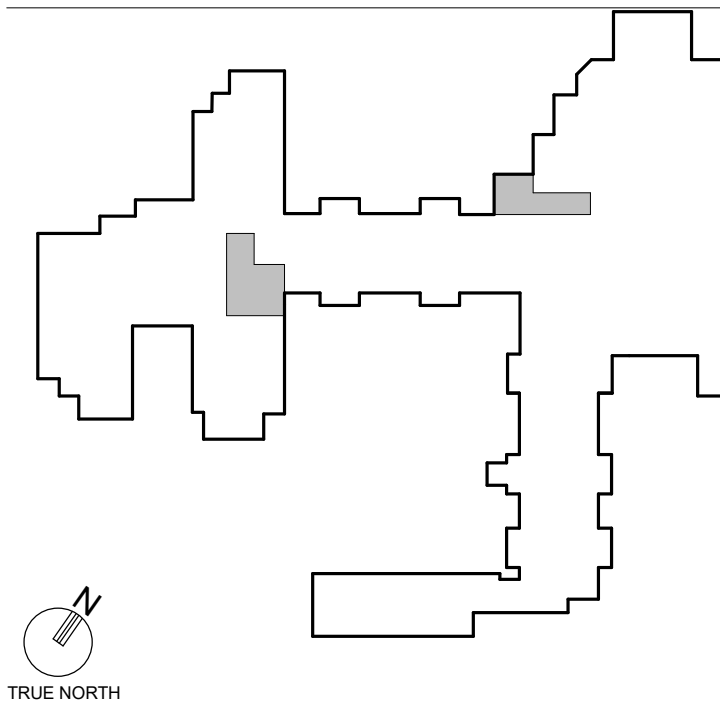
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FOURTH FLOOR DEMOLITION PLAN

1/16" = 1'-0"

KEY PLAN



GENERAL NOTES

DEMOLITION NOTES

- REMOVE INTERIOR WALL. REMOVE ASSOC. ANCHORS AND BRACKETS. PATCH FLOORS, WALLS, & CEILINGS AS REQUIRED.
- REMOVE EXISTING DOOR, FRAME & HARDWARE.
- REMOVE EXISTING CASEWORK.
- DEMOLISH BUILDING IN ENTIRETY FROM FOUNDATION UP. INFILL AS NEEDED. RE-STRUCTURAL AND MECHANICAL.
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- DEMOLISH BRICK VENEER.
- DEMOLISH EXISTING CEILING.
- REMOVE FRYER & GRIDOLE.

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed registered architect under the laws of the State of Maryland, License No. 21072, Expiration Date: 9/28/2026.

PROJECT TITLE

Collington
A KENDAL AFFILIATE

ENABLING RENOVATION
CONSTRUCTION DOCUMENTS

SFCS Architecture
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Planning
Interiors

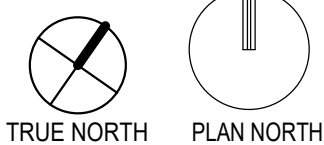
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Roanoke, Virginia 24011.2003
540.344.6664 • Fax 540.343.6925
www.sfcs.com

DESIGNER : JGB DRAWN : NSS
ARCHITECT : JGB CHECKED : DDP
ENGINEER : SFCS, HWY APPROVED : JGB

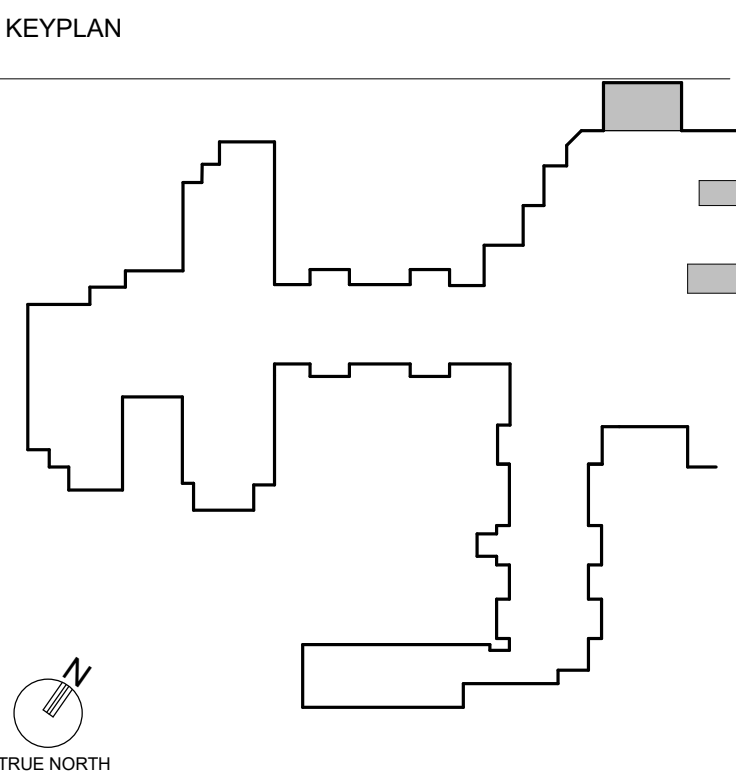
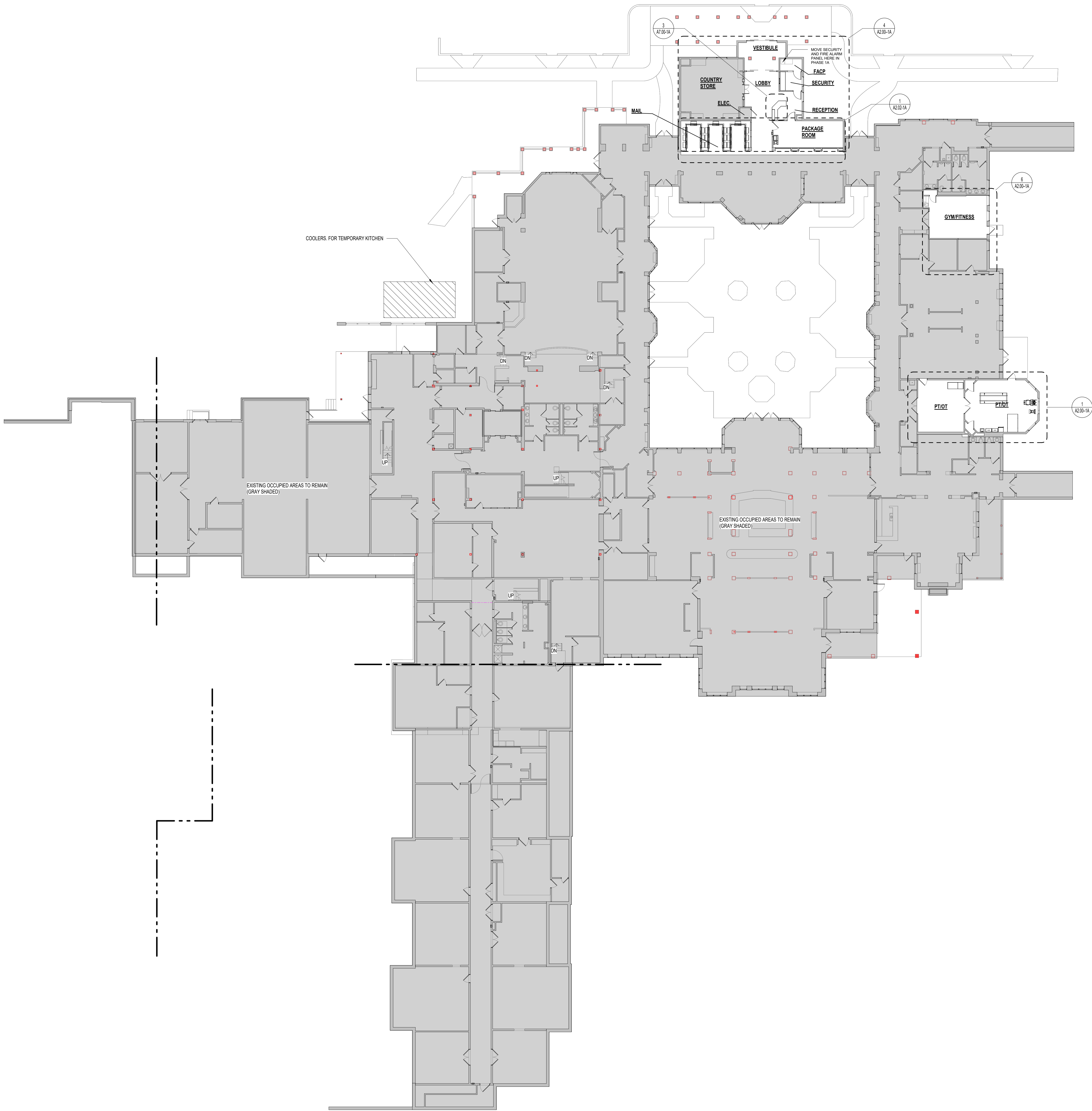
NO. REVISION DESCRIPTION DATE

DRAWING TITLE
4TH FLOOR DEMOLITION
PLAN

DATE: MAY 28, 2026
COMM. NO. 18135.00
DRAWING
AD1.40-1A



APPROVAL STAMPS



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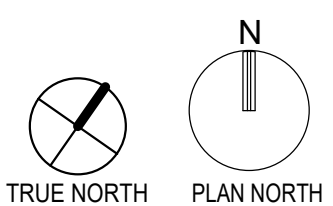
DESIGNER : JGB	DRAWN : NSS
ARCHITECT : JGB	CHECKED : DDP
ENGINEER : SFCS, HWI	APPROVED : JGB

NO.	REVISION DESCRIPTION	DATE
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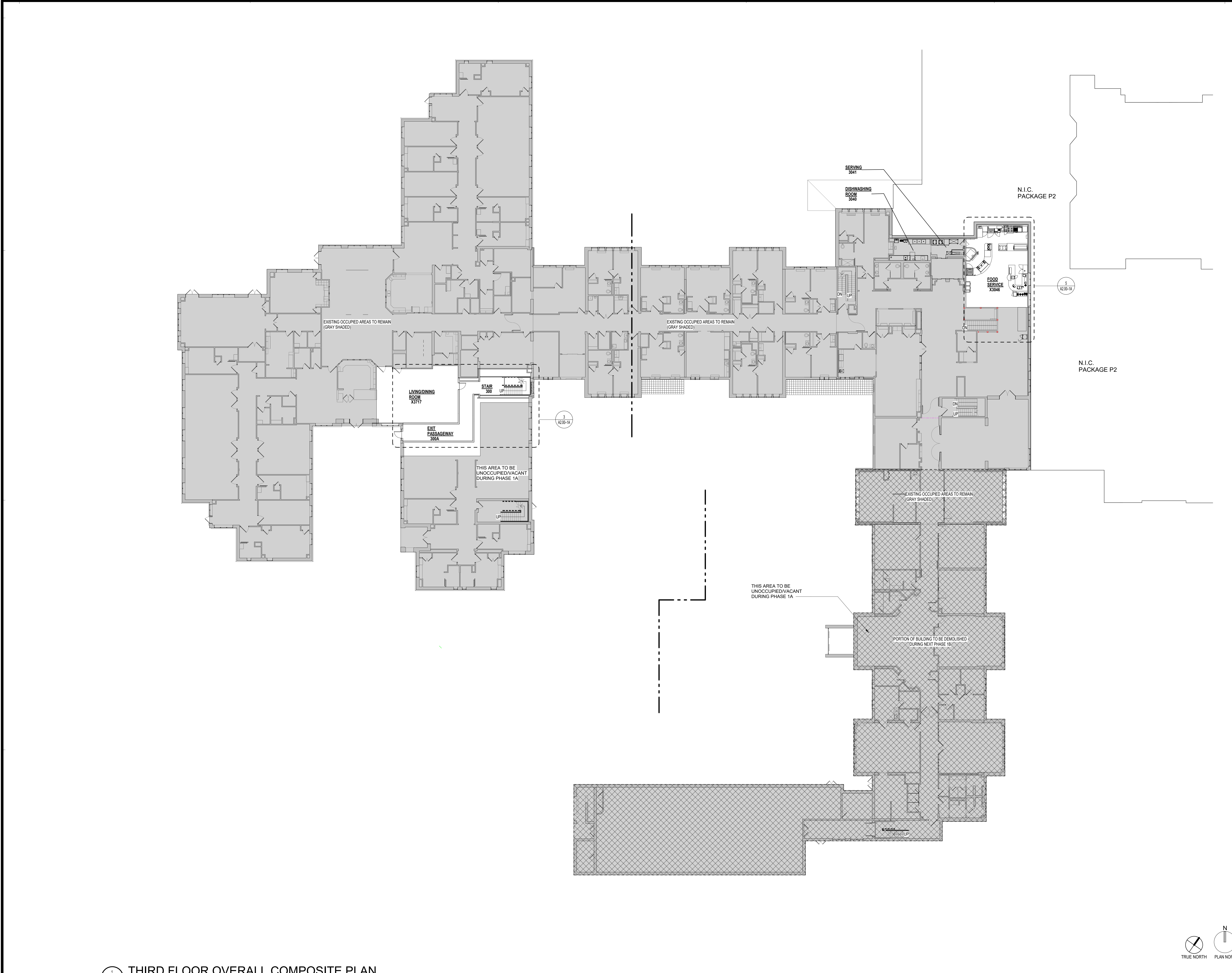
DRAWING TITLE
**2ND FLOOR OVERALL
COMPOSITE PLAN**

DATE: MAY 28, 2026	DRAWING
COMM. NO. 18135.00	A0.92-1A

1 SECOND FLOOR OVERALL COMPOSITE PLAN
1/16" = 1'-0"



APPROVAL STAMPS	



PROJECT TITLE

Collington

A KENDAL AFFILIATE

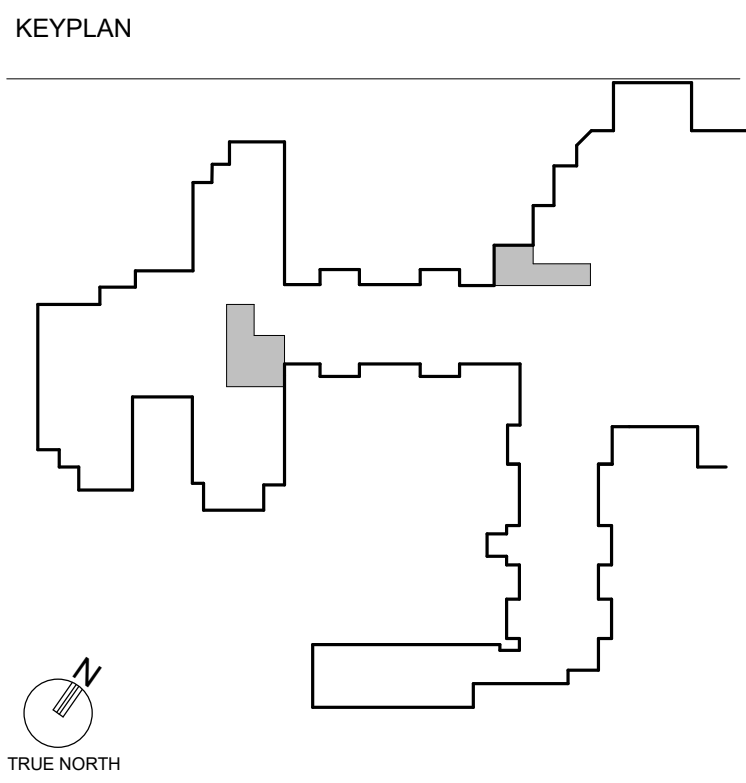
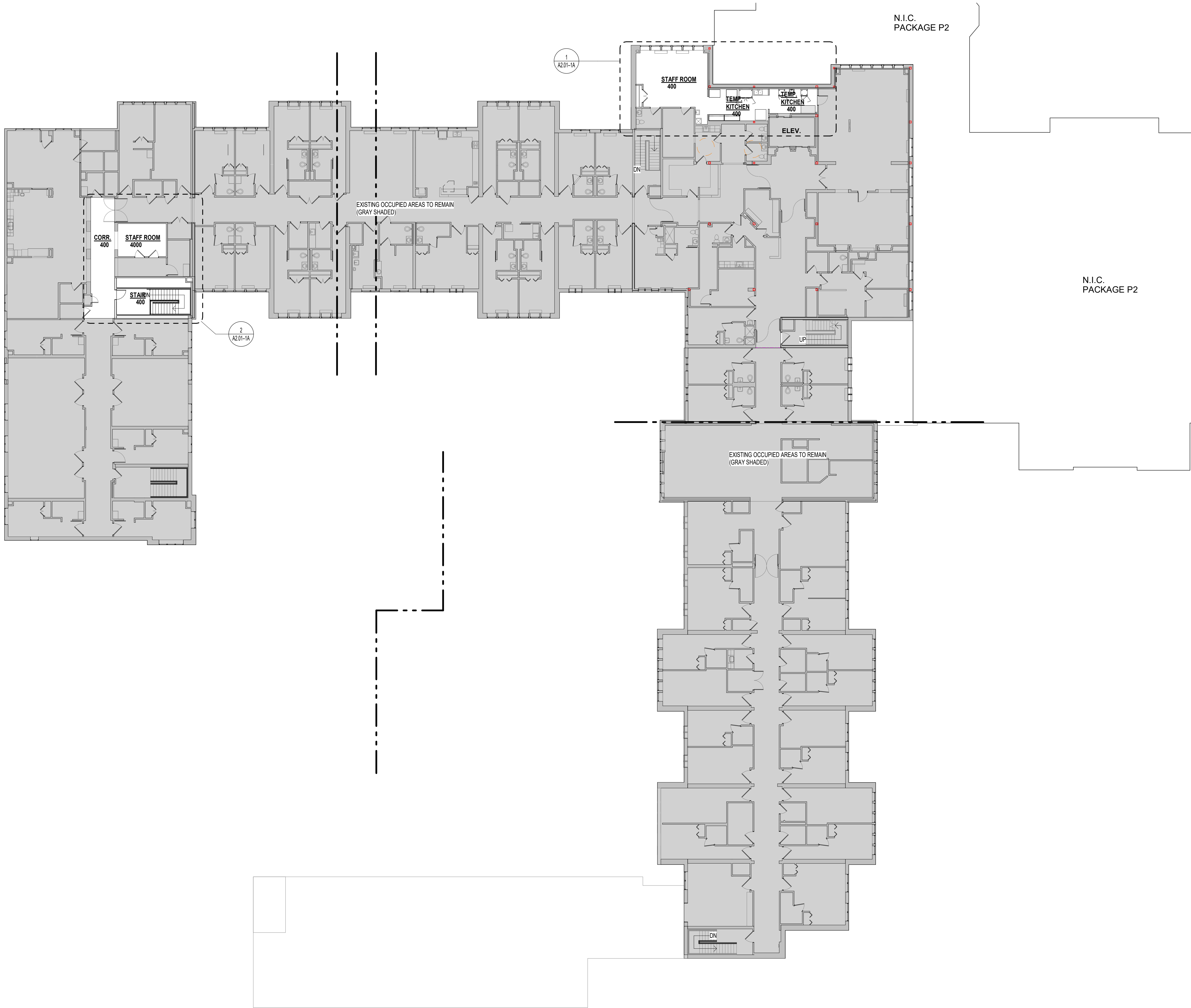
S F C S | Architecture
Engineering
Planning
Interiors

NO.	REVISION DESCRIPTION	DATE

	10,100.00	
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1 THIRD FLOOR OVERALL COMPOSITE PLAN
A099-1A 1/16" = 1'-0"

APPROVAL STAMPS



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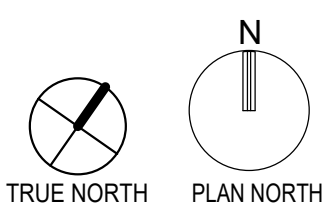
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DESIGNER : JGB	DRAWN : NSS	
ARCHITECT : JGB	CHECKED : DDP	
ENGINEER : SFCS, HWI	APPROVED : JGB	
NO.	REVISION DESCRIPTION	DATE

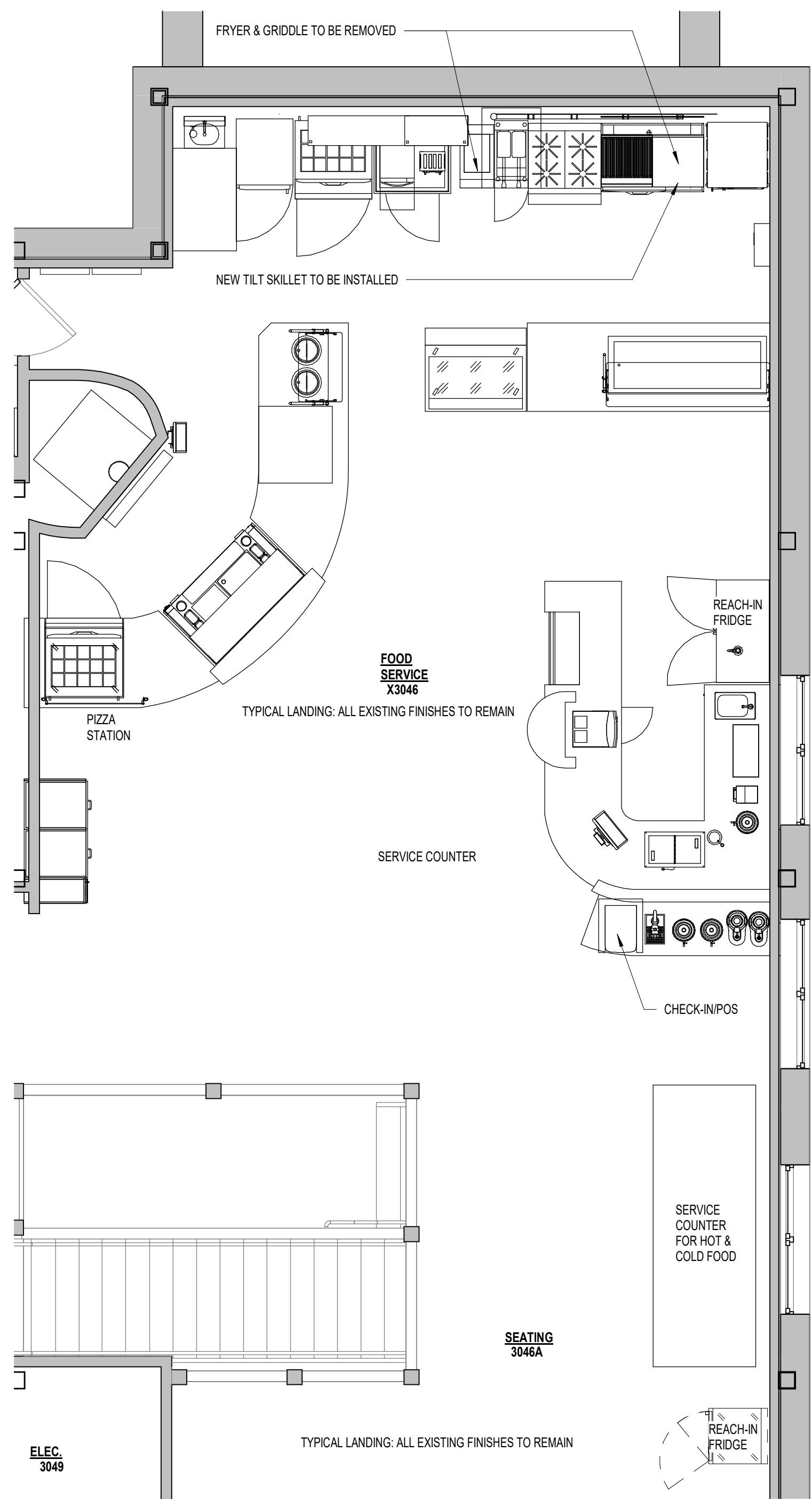
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**4TH FLOOR OVERALL
COMPOSITE PLAN**

DATE: MAY 28, 2026
COMM. NO. 18135.00
DRAWING
A0.94-1A

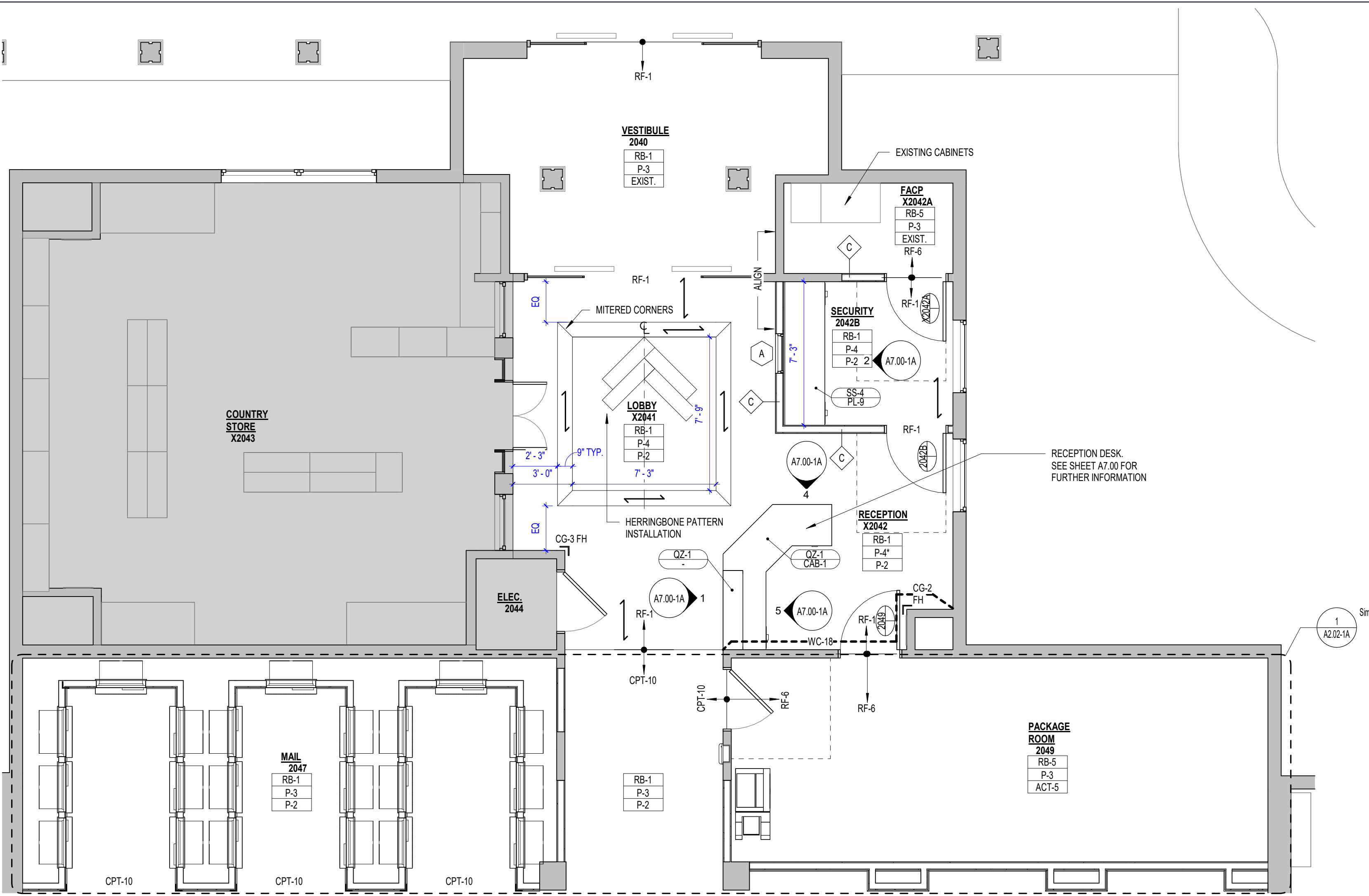
1 FOURTH FLOOR OVERALL COMPOSITE PLAN
RZB-1A 1/16" = 1'-0"



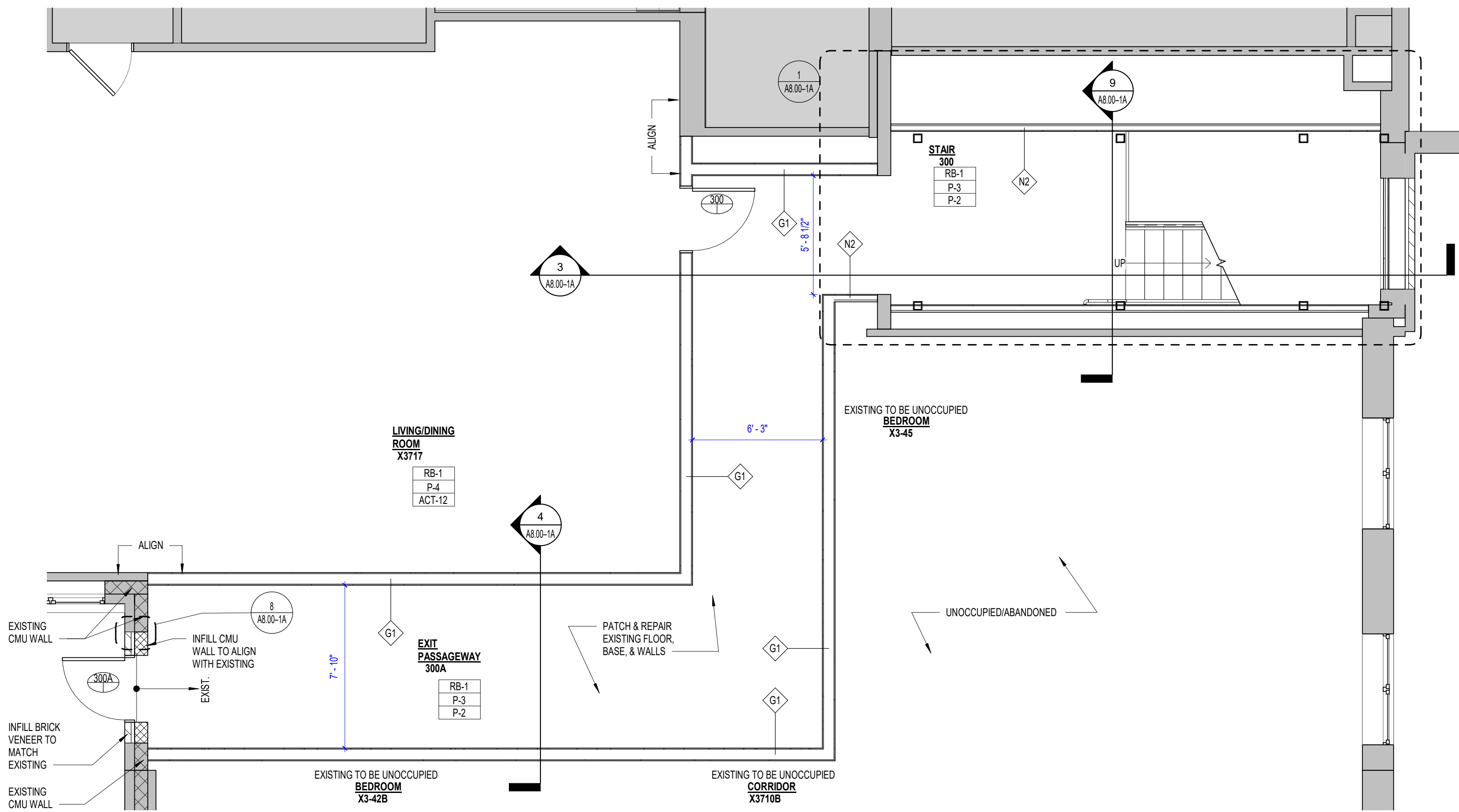
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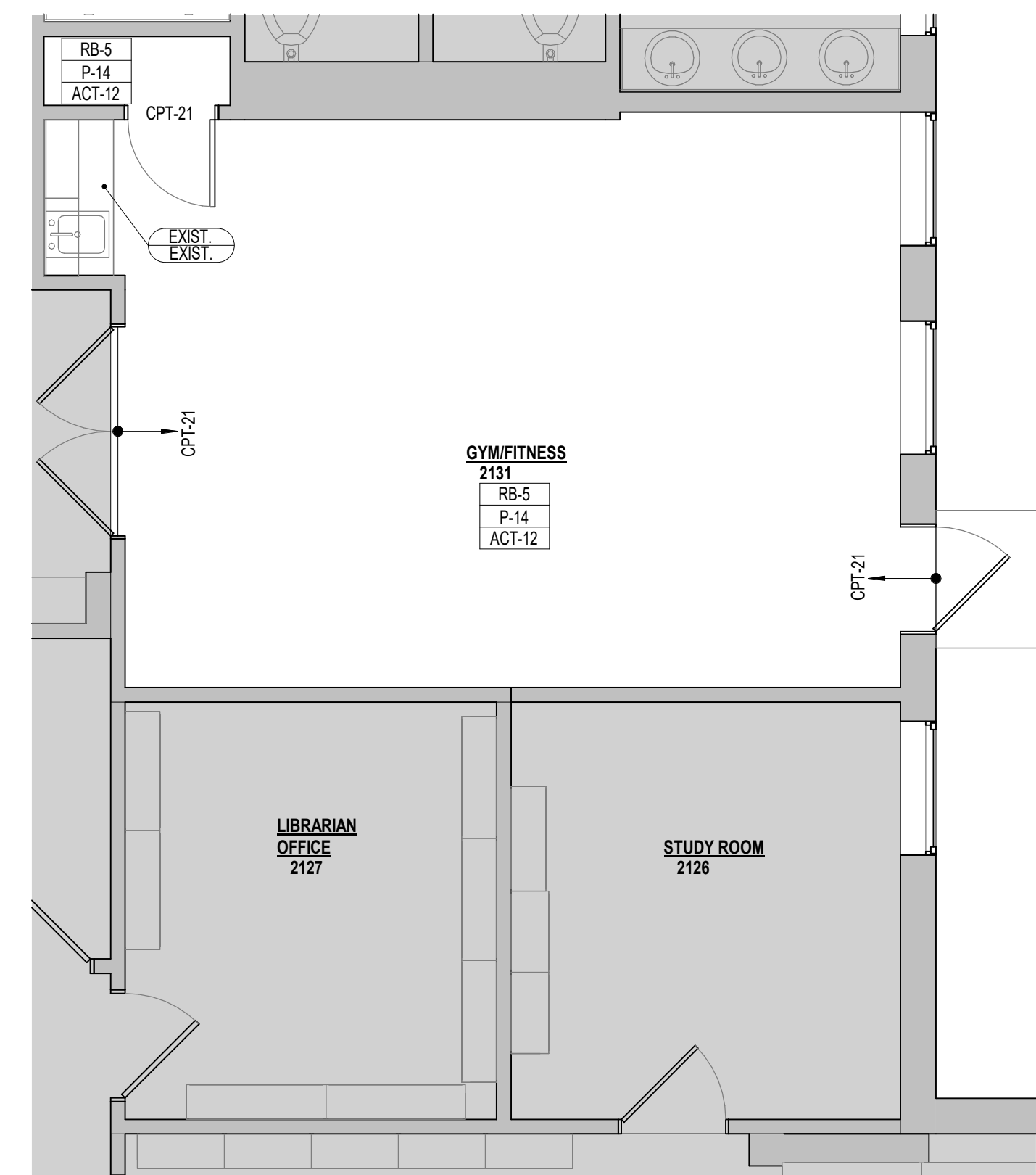
3RD FLOOR - P1A - THE LANDING
1/4" = 1'-0"



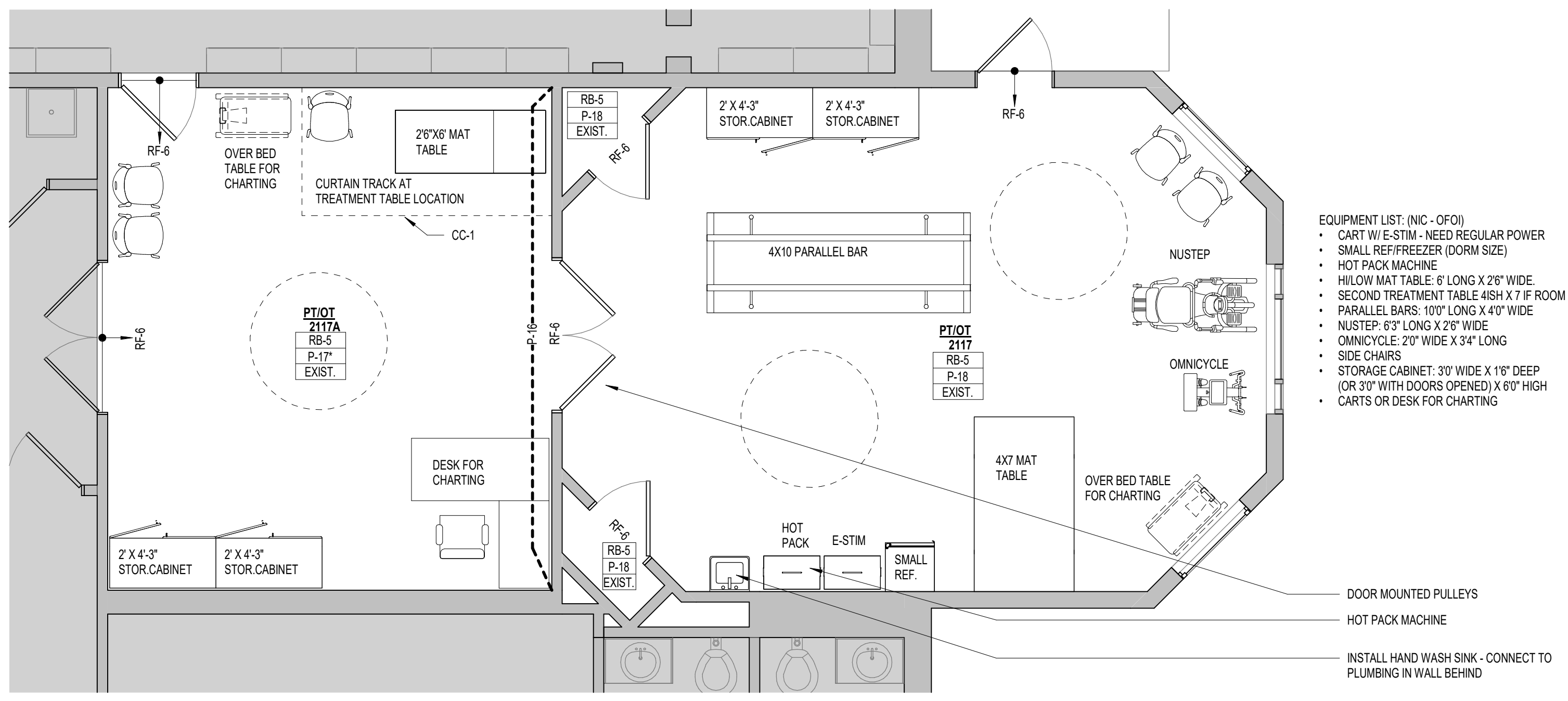
2ND FLOOR/FINISH - P1A - RECEPTION AND SECURITY
1/4" = 1'-0"



3RD FLOOR - P1A - STAIR
1/4" = 1'-0"



2ND FLOOR - P1A - GYM/FITNESS
1/4" = 1'-0"



2ND FLOOR - P1A - GYM AND PT/OT
1/4" = 1'-0"

GENERAL NOTES

NOTE 1: RE: 10.05-1A FOR FINISH INFORMATION PER SYMBOLS SHOWN

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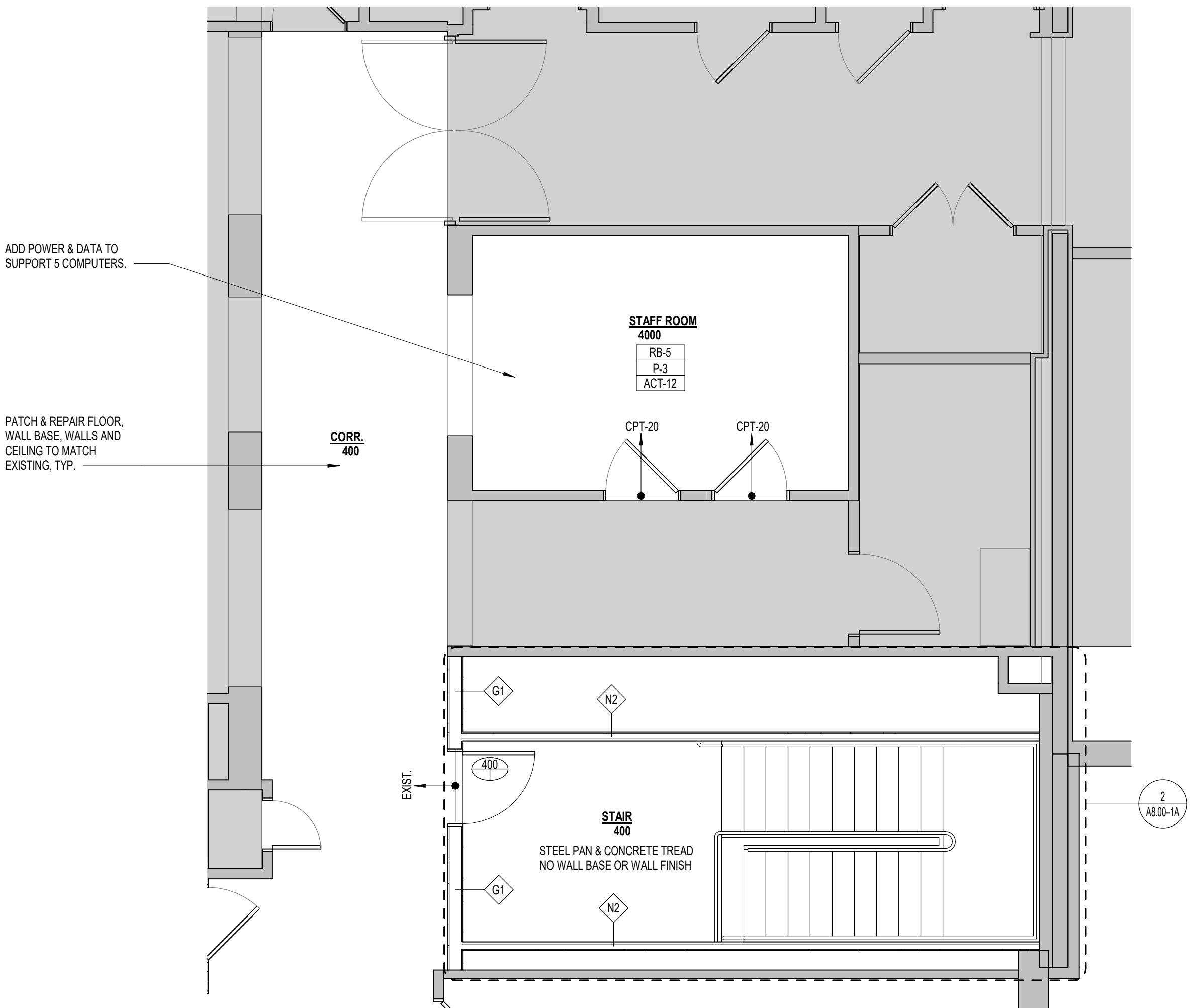
DESIGNER	: JGB	DRAWN	: NSS
ARCHITECT	: JGB	CHECKED	: DDP
ENGINEER	: SFCs HW	APPROVED	: JGB

NO.	REVISION DESCRIPTION	DATE
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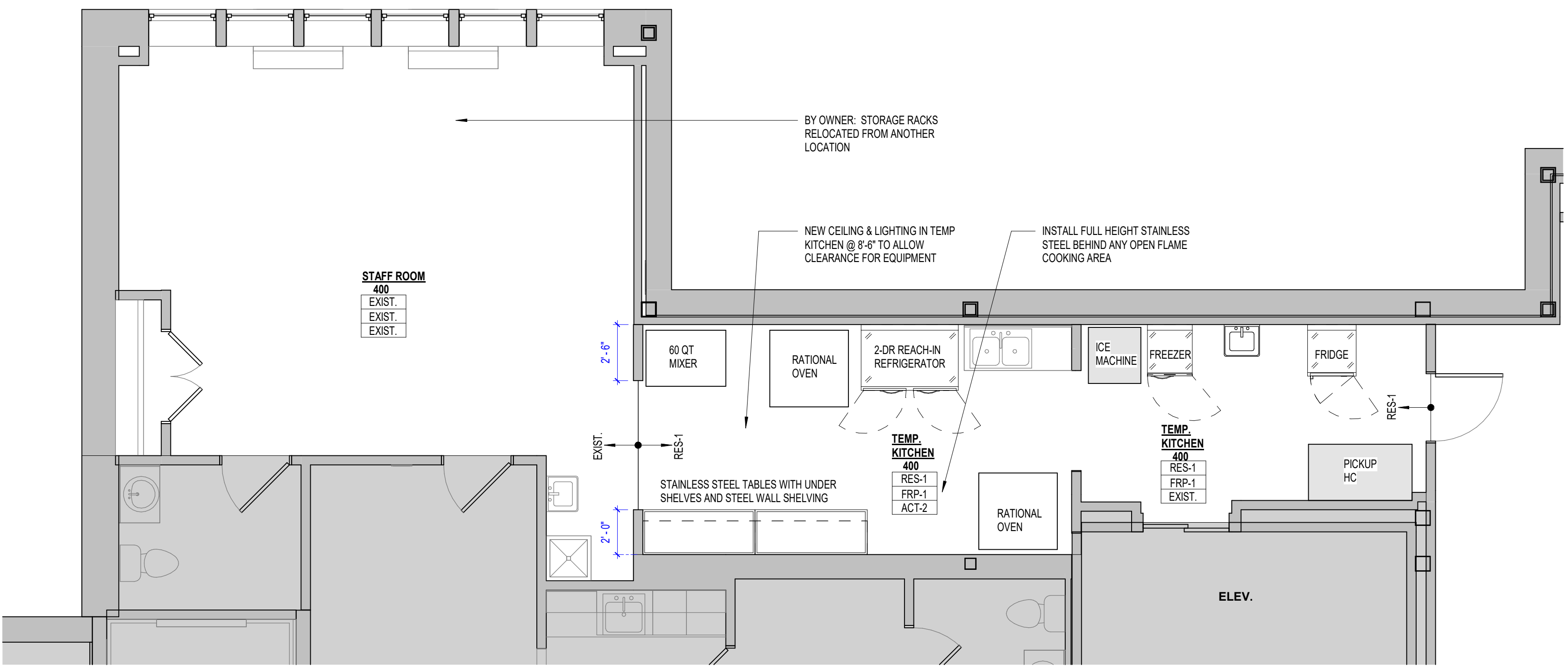
DRAWING TITLE
ENLARGED PLANS -
ENABLING

DATE:	MAY 28, 2025	DRAWING
COMM. NO.	18135.00	A2.00-1A

APPROVAL STAMPS



2 4TH FLOOR - P1A - STAFF ROOM & STAIR
1/4" = 1'-0"



1 4TH FLOOR - P1A - TEMPORARY SERVICE KITCHEN
1/4" = 1'-0"

GENERAL NOTES

NOTE 1: RE: 10.00-1A FOR FINISH INFORMATION PER SYMBOLS SHOWN

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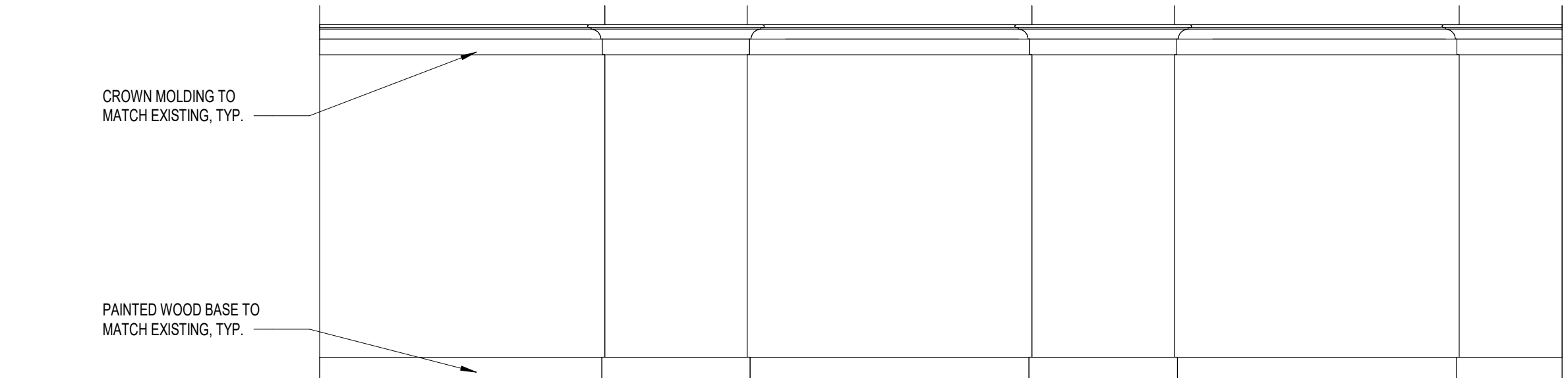
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ARCHITECT : JGB CHECKED : DDP
ENGINEER : SFCS, HWY APPROVED : JGB

NO. REVISION DESCRIPTION DATE

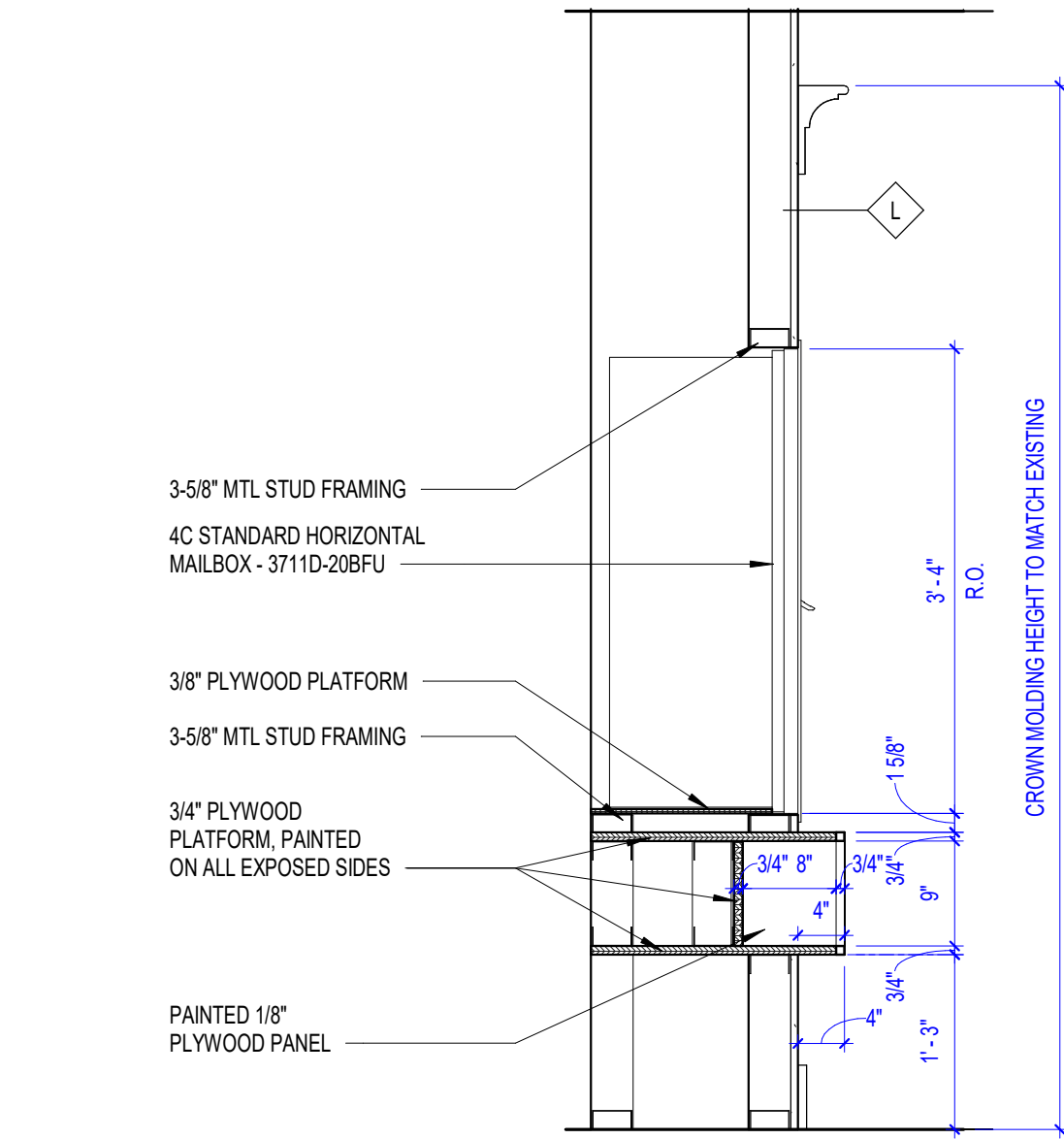
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ENLARGED PLANS -
ENABLING

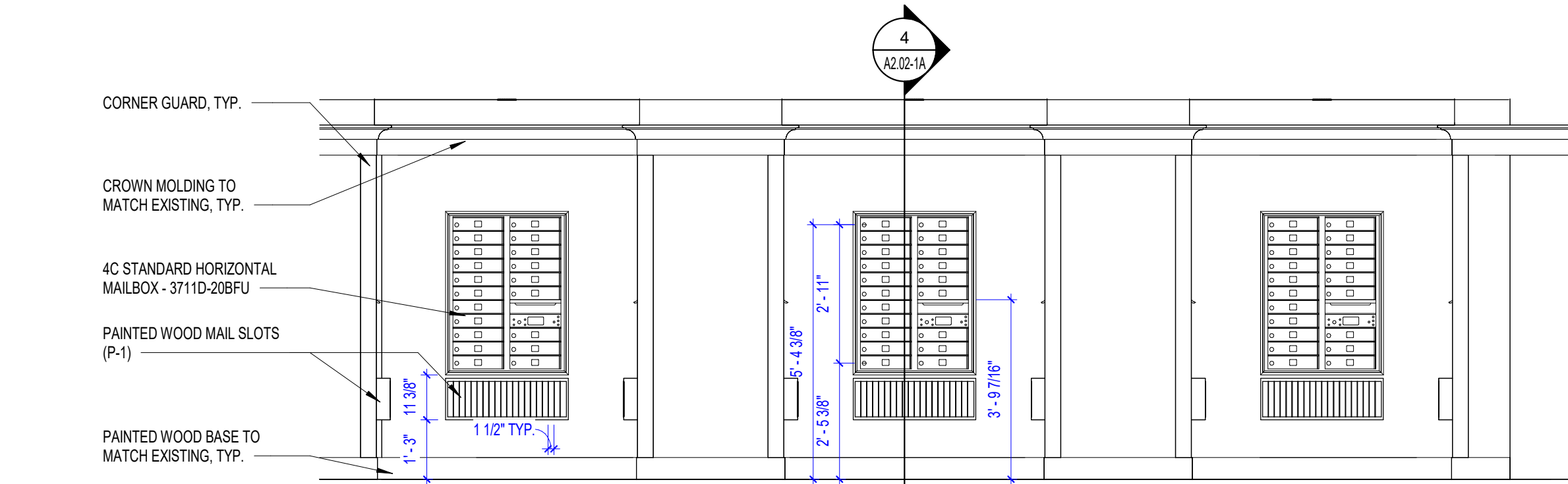
DATE: MAY 28, 2026
COMM. NO. 18135.00
DRAWING A2.01-1A



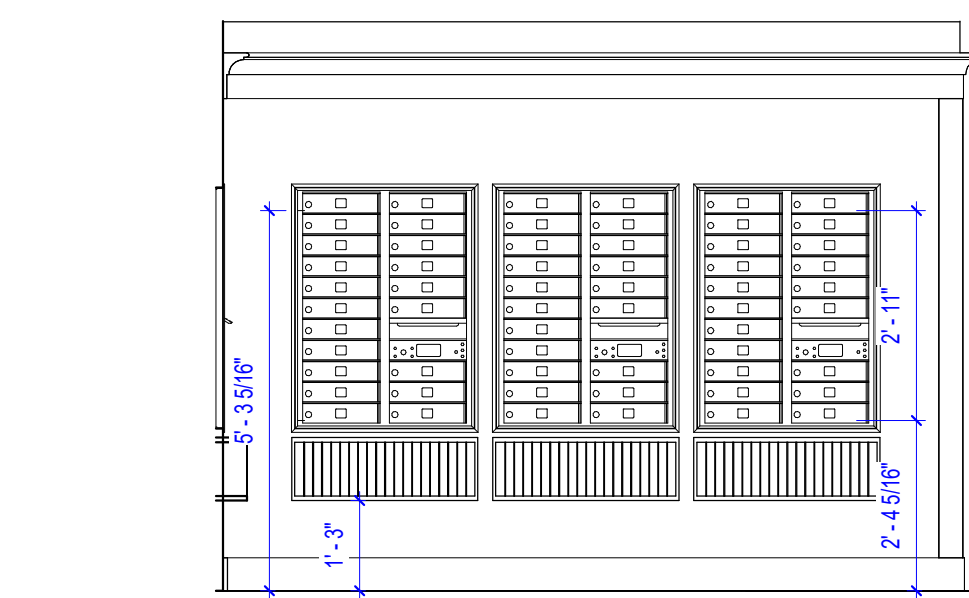
5 PACKAGE ROOM EXTERIOR ELEVATION
3/8" = 1'-0"



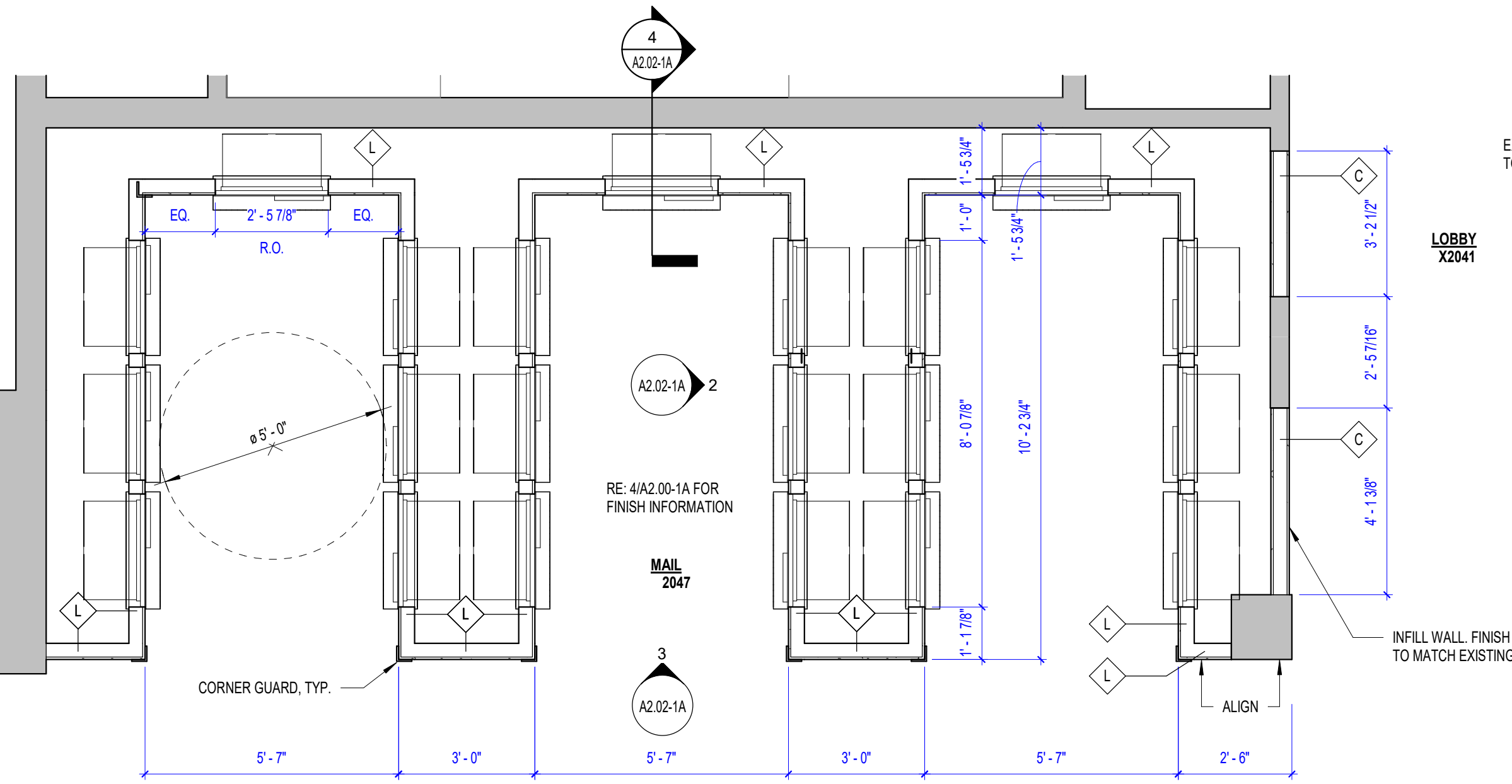
4 SECTION AT MAIL BOXES, TYP.
3/4" = 1'-0"



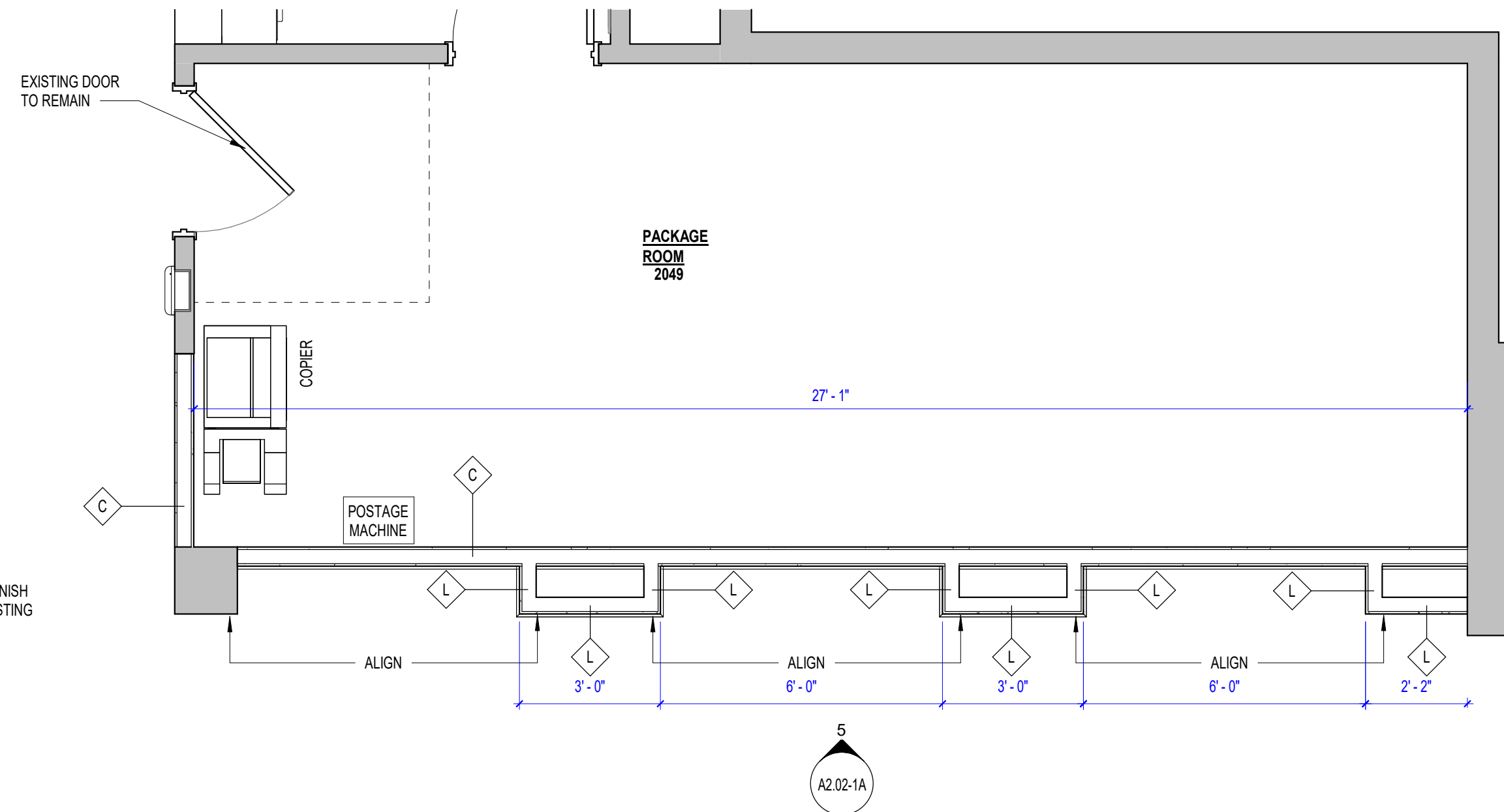
3 MAIL AREA ELEVATION 1
3/8" = 1'-0"



2 MAIL AREA ELEVATION 2
3/8" = 1'-0"



1 2ND FLOOR PLAN - P1A -MAIL & PACKAGE DELIVERY
3/8" = 1'-0"



GENERAL NOTES

NOTE 1: RE: 10.00-1A FOR FINISH INFORMATION PER SYMBOLS SHOWN

PARCEL LOCKER REQUIREMENTS

TOTAL MAILBOXES: 420
PARCEL LOCKERS REQUIRED: 96
(PER USPS: 1:5)
NOTE: PACKAGE ROOM IS BEING USED IN LIEU OF PARCEL BOXES
LINEAR FT PER PARCEL LOCKER: 1FT
LINEAR FT OF SHELVING TO EQUATE TO PARCEL BOX REQUIREMENT: 96FT
LINEAR FT OF SHELVING POSSIBLE: 98FT

REFLECTED CEILING PLAN LEGEND

- PAINTED GYPSUM BOARD
- SUSPENDED ACOUSTIC CEILING SYSTEM
- RECESSED TROFFER
- RECESSED DOWNLIGHT
- SURFACE FIXTURE LIGHT
- PENDANT LIGHT FIXTURE
- CEILING DIFFUSER

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed registered architect under the laws of the State of Maryland, License No. 21072, Expiration Date: 9/28/2026

PROJECT TITLE

Collington
A KENDAL AFFILIATE

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www.sfcs.com

DESIGNER : JGB DRAWN : NSS
ARCHITECT : JGB CHECKED : DDP
ENGINEER : SFCS, HWY APPROVED : JGB

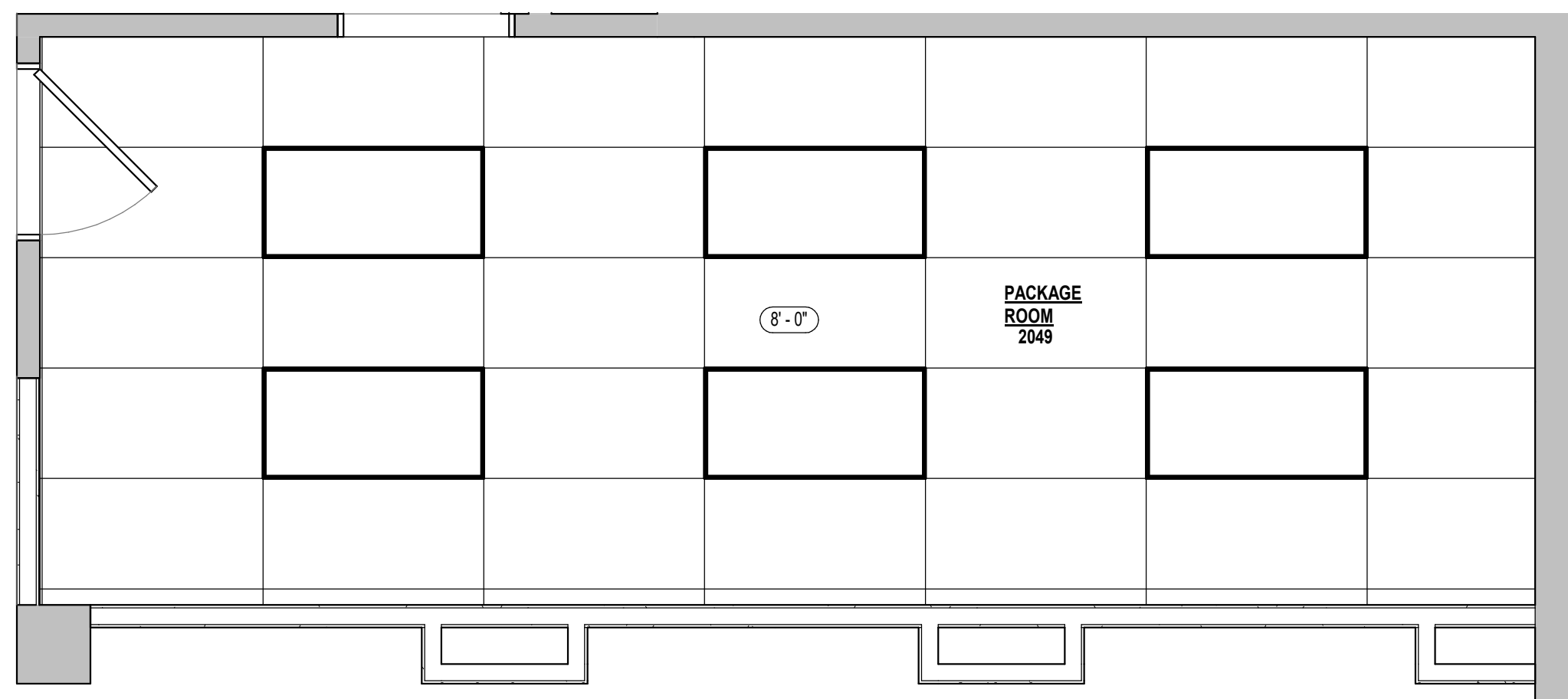
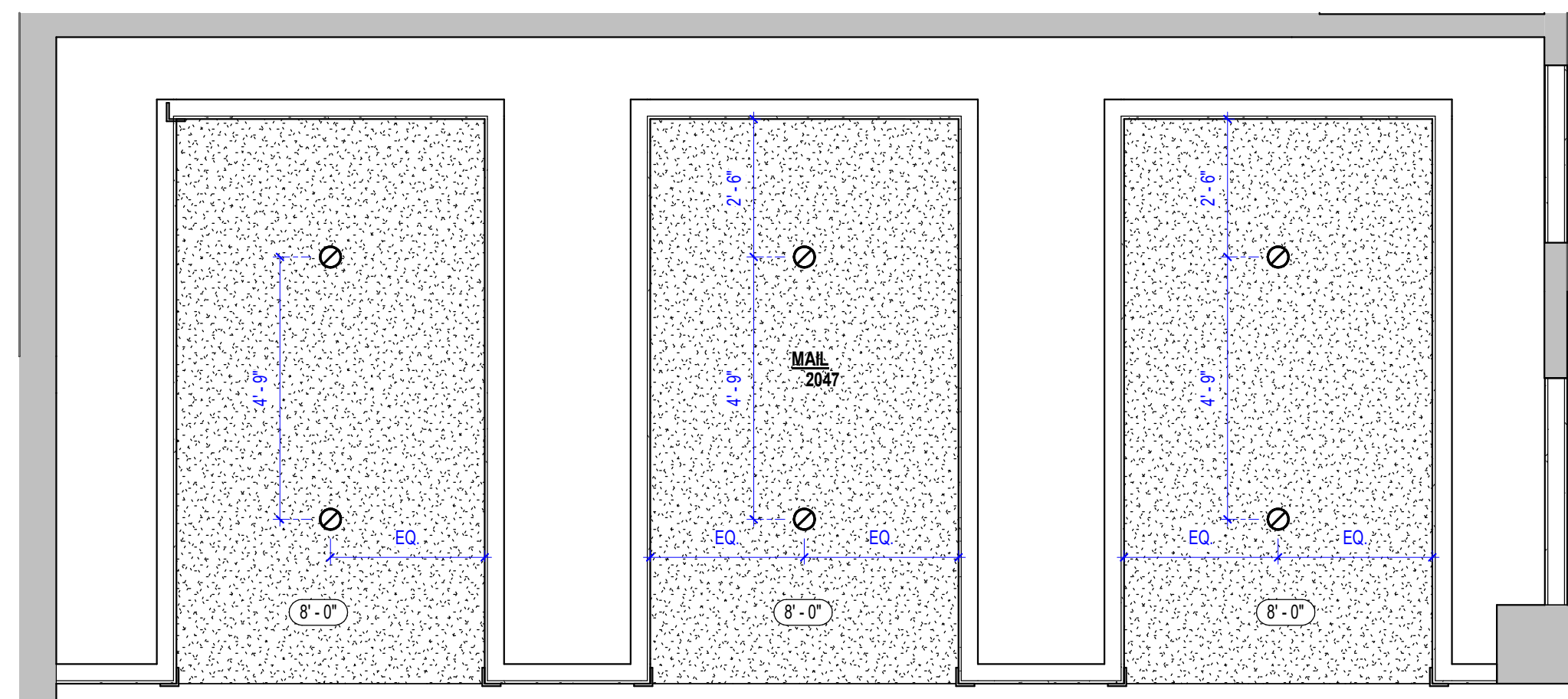
NO. REVISION DESCRIPTION DATE

DRAWING TITLE
MAIL & PACKAGE
DELIVERY PLANS &
ELEVATIONS

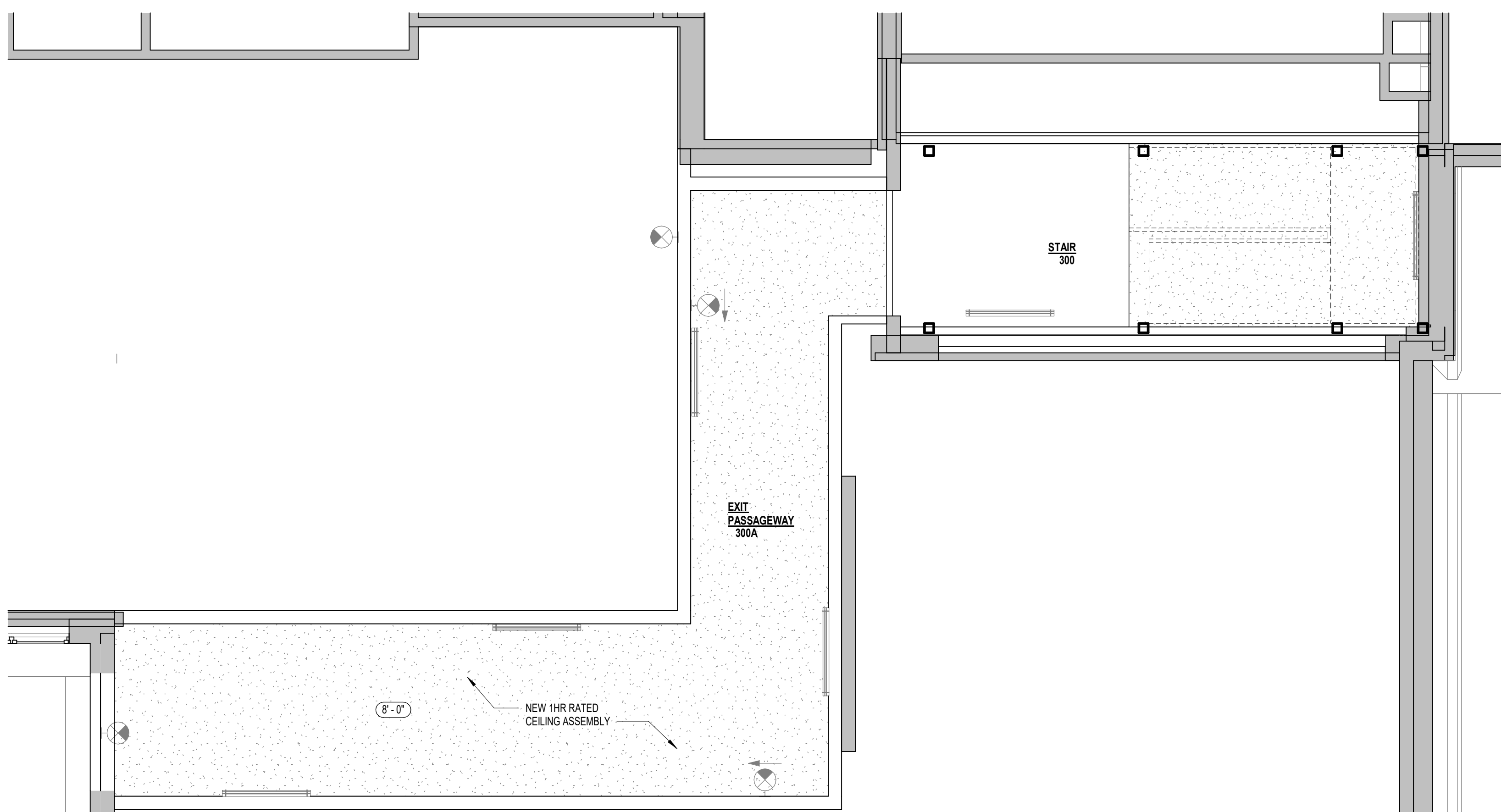
DATE: MAY 28, 2026
COMM. NO. 18135.00

DRAWING
A2.02-1A

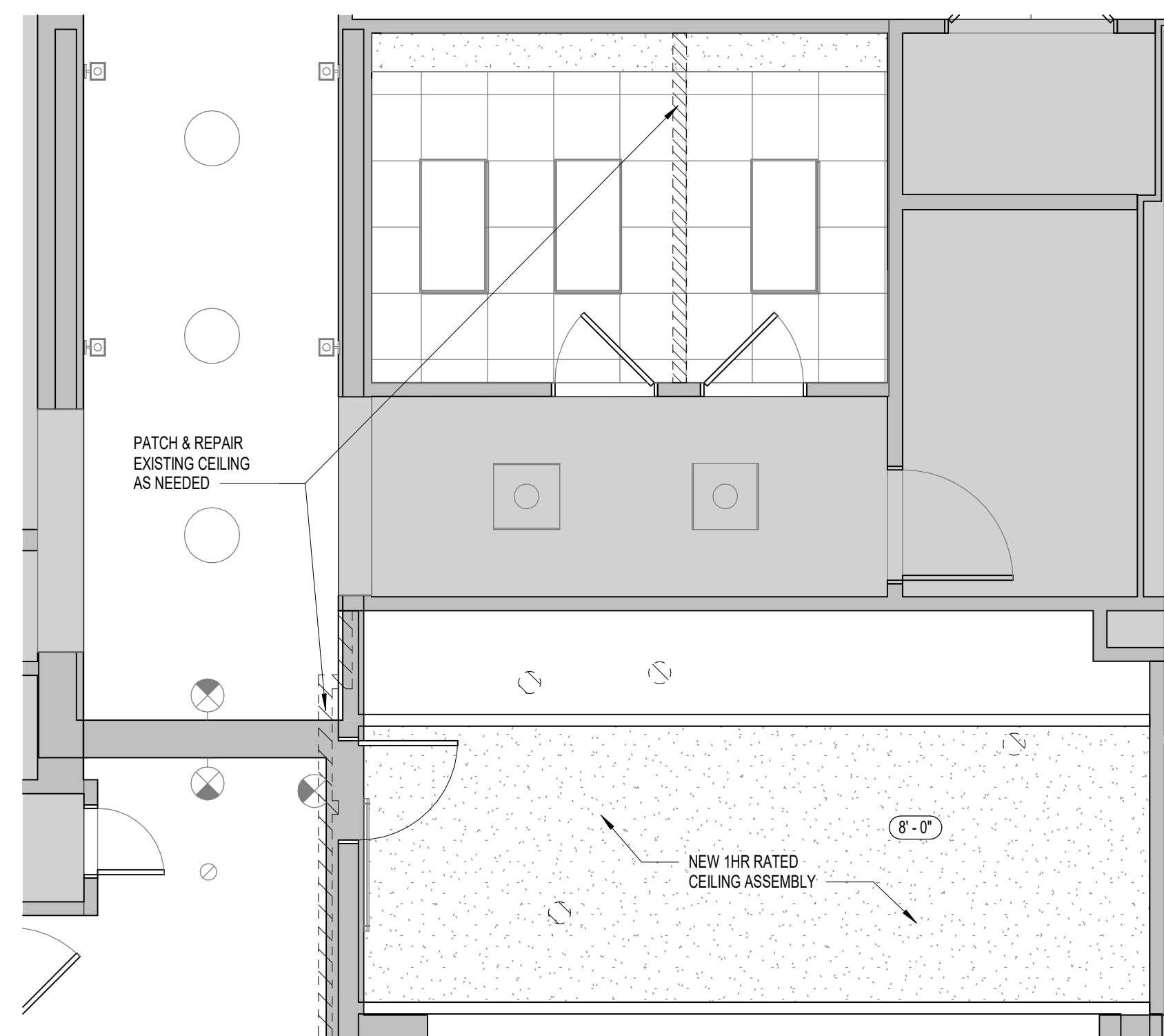
APPROVAL STAMPS



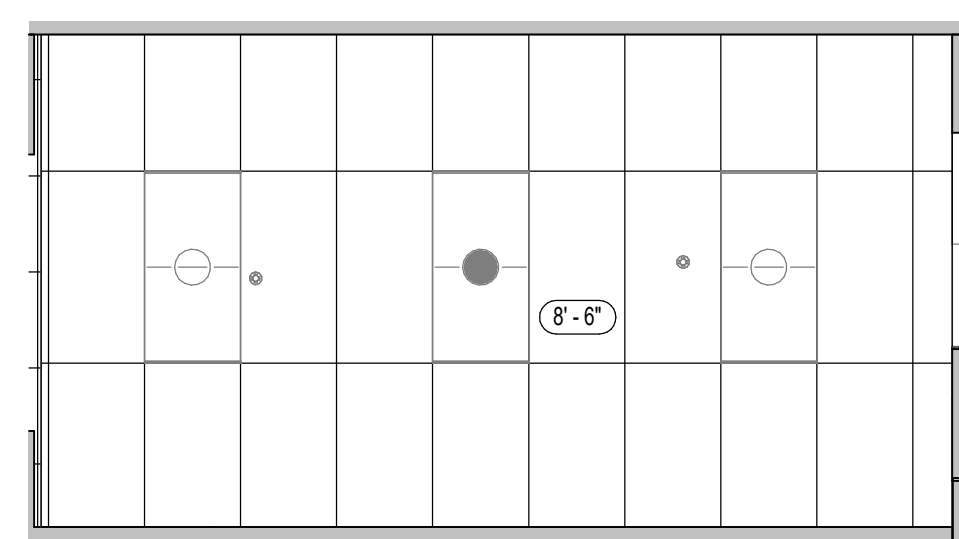
5 2ND FLOOR RCP - P1A - MAIL & PACKAGE DELIVERY
3/8" = 1'-0"



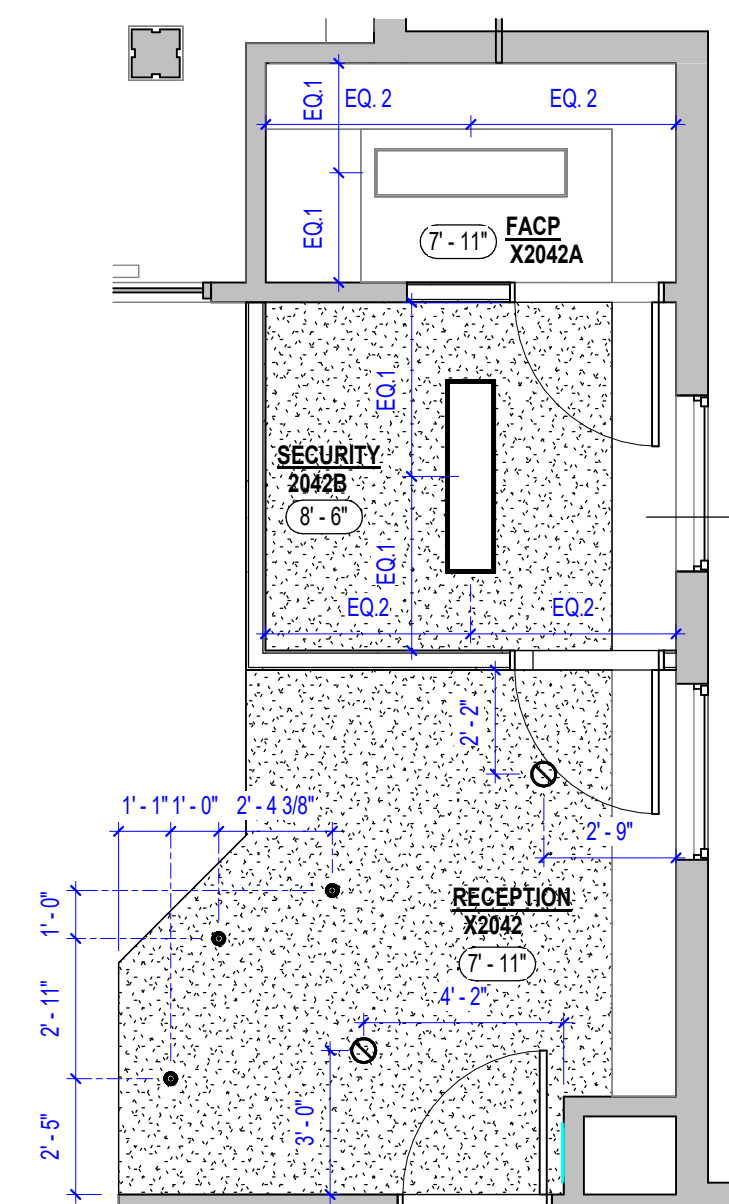
4 3RD FLOOR RCP - P1A - STAIR
1/4" = 1'-0"



3 4TH FLOOR RCP - P1A - STAFF ROOM & STAIR
1/4" = 1'-0"



2 4TH FLOOR RCP - P1A - TEMP KITCHEN
1/4" = 1'-0"



1 2ND FLOOR RCP - P1A - RECEPTION & SECURITY
1/4" = 1'-0"

1. STAIR COMPONENTS SHOWN ARE
SUBJECT TO MODIFICATION BY STAIR
DESIGNATED DESIGNER
RE: STRUCT.

REFLECTED CEILING PLAN LEGEND

- PAINTED GYPSUM BOARD
- SUSPENDED ACOUSTIC CEILING SYSTEM
- RECESSED TROFFER
- RECESSED DOWNLIGHT
- SURFACE FIXTURE LIGHT
- PENDANT LIGHT FIXTURE
- CEILING DIFFUSER

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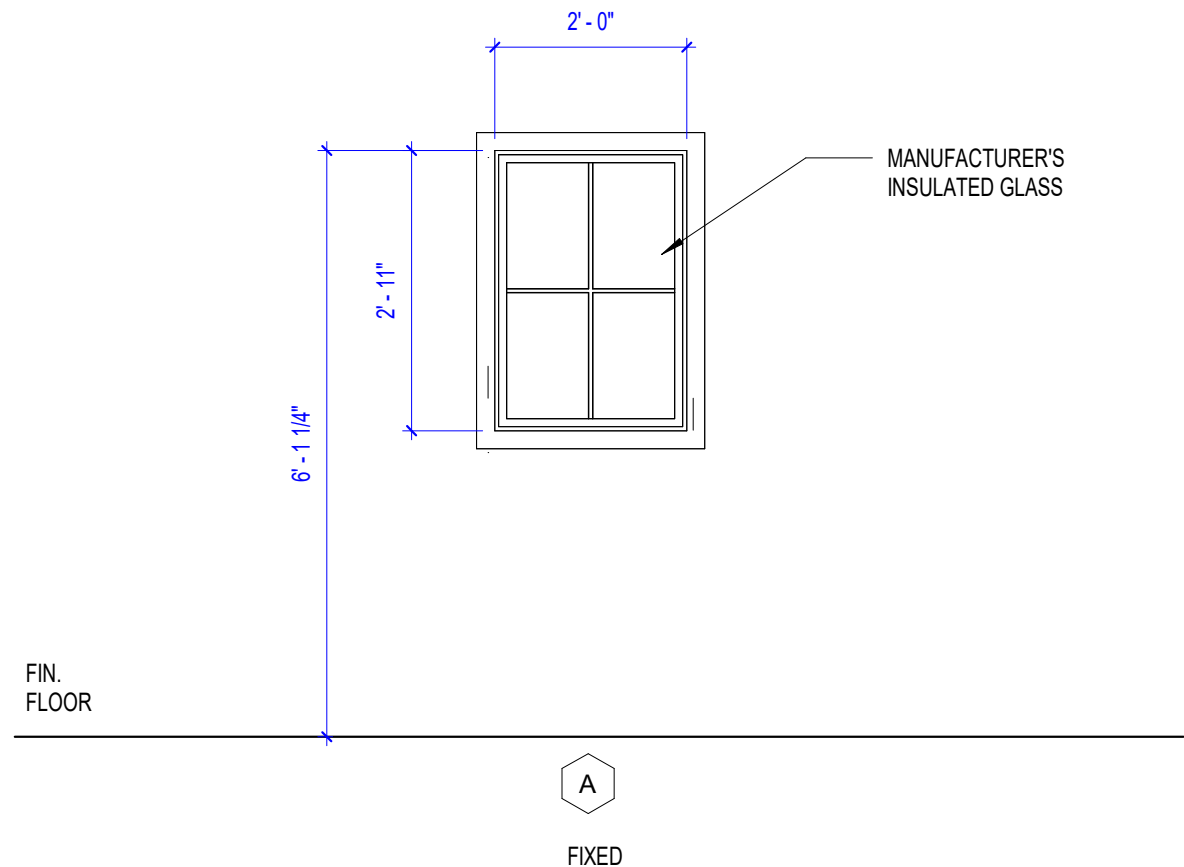
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ARCHITECT : JGB	CHECKED : DDP	
ENGINEER : SFCS, HW	APPROVED : JGB	
NO.	REVISION DESCRIPTION	DATE

DRAWING TITLE
REFLECTED CEILING
PLANS

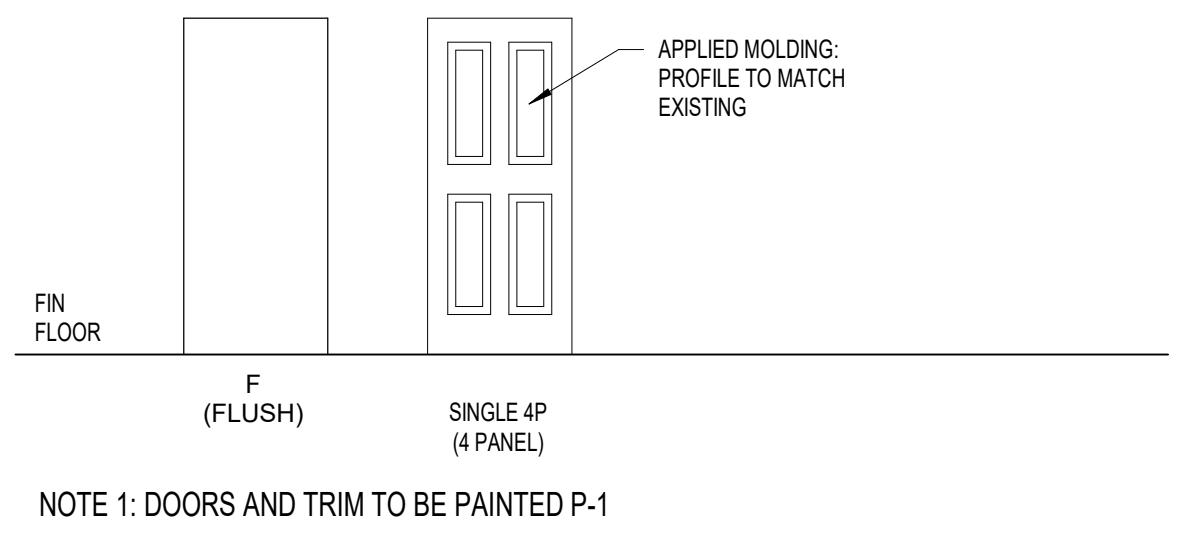
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APPROVAL STAMPS

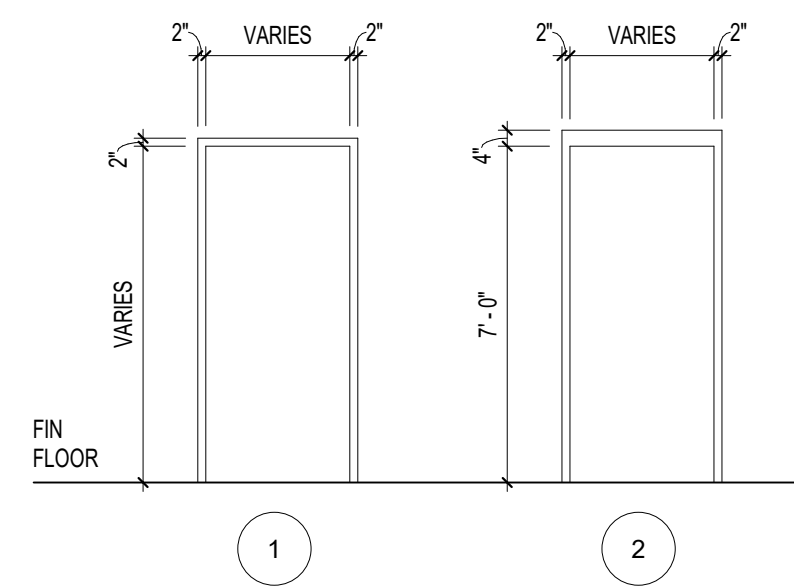
WINDOW SCHEDULE



DOOR ELEVATIONS



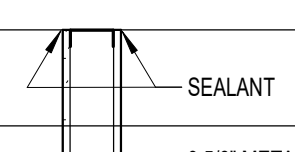
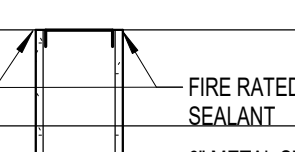
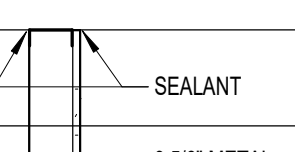
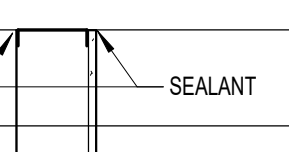
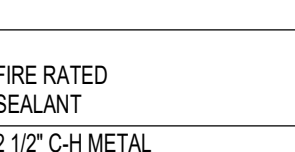
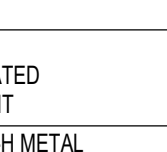
DOOR FRAME ELEVATIONS



DOOR SCHEDULE - P1A

DOOR NO.	Room Name	DOOR				FIRE RATING	FRAME			HARDWARE		Comments
		ELEV	TYPE	WIDTH	HEIGHT		ELEV	HEAD	JAMB	LOCK	CLOS	
300	STAIR	F	HM	3'-0"	7'-0"	60 MIN	1	H1	J1	02		INTERIOR EGRESS DOOR
300A	EXIT PASSAGEWAY	F	HM	3'-0"	7'-0"	45 MIN	2	H3	J3	02		EXTERIOR EGRESS DOOR
400	STAIR	F	HM	3'-0"	7'-0"	60 MIN	1	H1	J1	02		INTERIOR EGRESS DOOR
2042B	SECURITY	4P	WD	3'-0"	6'-8"	--	1	H2	J2	03		INTERIOR DOOR, CASING
2049	PACKAGE ROOM	4P	WD	3'-0"	6'-8"	--	1	H2	J2	04		INTERIOR DOOR, CASING
X2042A	FACP	F	WD	3'-0"	6'-8"	--	1	H2	J2	04		INTERIOR DOOR, CASING

PARTITION TYPES

FLOOR/ROOF DECK												
CLG												
ACTUAL	C		G1		L		M		N1		N2	
TYPE												
FIRE RATING			1 HR - UL U485				1 HR - UL U489				1 HR - UL U415	
SOUND RATING	STC-49		STC-49						STC-47		STC-47	

NOTE 1: SOUND RATING WHERE NOTED ON PLANS.
NOTE 2: GWB SHALL BE ACOUSTICALLY SEALED TO STRUCTURE AT SOUND RATED PARTITIONS. APPLY SEALANT AROUND ALL CUT OUTS IN GWB WALL. CAULK SIDES AND BACK OF ELECTRICAL BOXES.
NOTE 3: DESIGNATED STC RATINGS APPLY TO SOUND RATED PARTITIONS.

HARDWARE SETS

HARDWARE GROUP NO. 01					
3	EA	HINGE	5BB1 4.5 X 4.5	652	IVE
1	EA	PANIC HARDWARE	LD-86NL-697	626	VON
1	EA	RM CYLINDERS	20-022	626	SCH
1	EA	SURFACE CLOSER	4111 CUSH	689	LCN
1	EA	GASKETING	328AA-S	AA	ZER
1	EA	DOOR SWEEP	619TG	G	ZER
1	EA	THRESHOLD	566D-223	D	ZER
1	EA	RAIN DRIP	143	A	ZER

DOOR NORMALLY CLOSED AND LOCKED.
KEY OUTSIDE RETRACTS LATCH/BOLT AND ALLOWS ENTRY.
FREE EGRESS AT ALL TIMES.

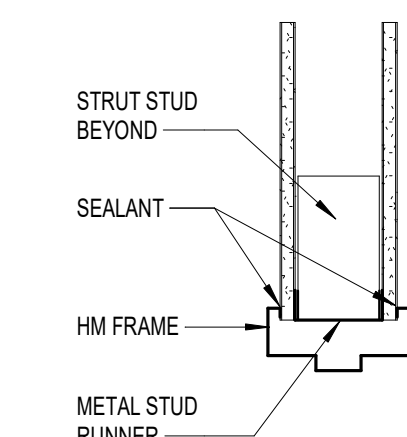
HARDWARE GROUP NO. 02					
3	EA	HINGE	5BB1 4.5 X 4.5	652	IVE
1	EA	FIRE EXIT HARDWARE	58L-8E-F-07	626	VON
1	EA	SURFACE CLOSER	4011	689	LCN
1	EA	KICK PLATE	8400 10" X 2" LDW B-CS	630	IVE
1	EA	WALL STOP	WS406/407CCV	630	IVE
1	EA	GASKETING	488SK PSA	BK	ZER

HARDWARE GROUP NO. 03					
3	EA	HINGE	5BB1 4.5 X 4.5 NRP	652	IVE
1	EA	POWER TRANSFER	EPT10	689	VON
1	EA	STOREROOM LOCK	NDRSU TLR RX	626	SCH
1	EA	OH STOP	100S	652	GLY
1	EA	GASKETING	488SK PSA	BK	ZER
1	EA	POWER SUPPLY	BY OTHERS		
1	EA	CARD READER	BY OTHERS		

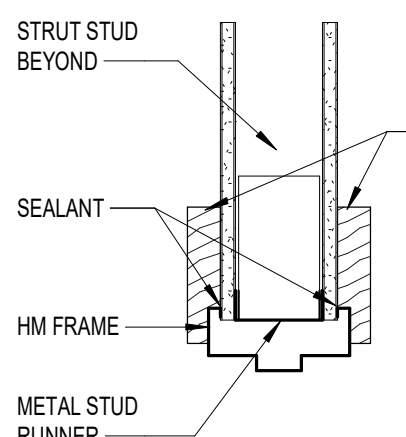
DOOR NORMALLY CLOSED AND LOCKED.
USE OF CARD READER ON OUTSIDE OF DOOR RELEASES ELECTRIFIED LOCK PERMITTING PASSAGE.
UPON LOSS OF POWER, OUTSIDE LEVER FAILS SECURE. USE OF KEY RETRACTS LATCH.
INSIDE LEVER ALWAYS FREE FOR IMMEDIATE EGRESS.

HARDWARE GROUP NO. 04					
3	EA	HINGE	5BB1 4.5 X 4.5 NRP	652	IVE
1	EA	STOREROOM LOCK	NDRSUPTD ATH	626	SCH
1	EA	SURFACE CLOSER	4111 CUSH	689	LCN
1	EA	GASKETING	488SK PSA	BK	ZER

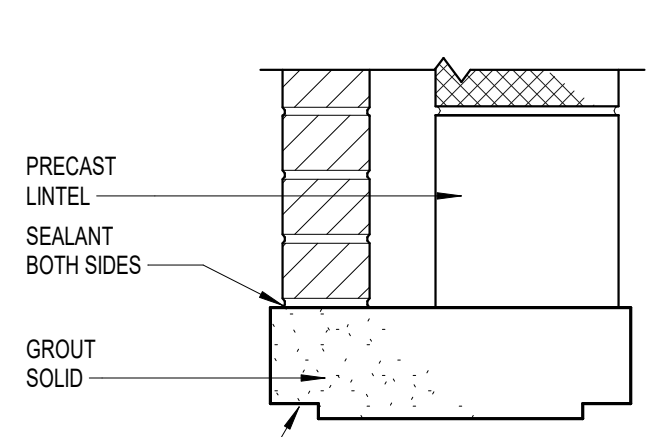
DOOR DETAILS



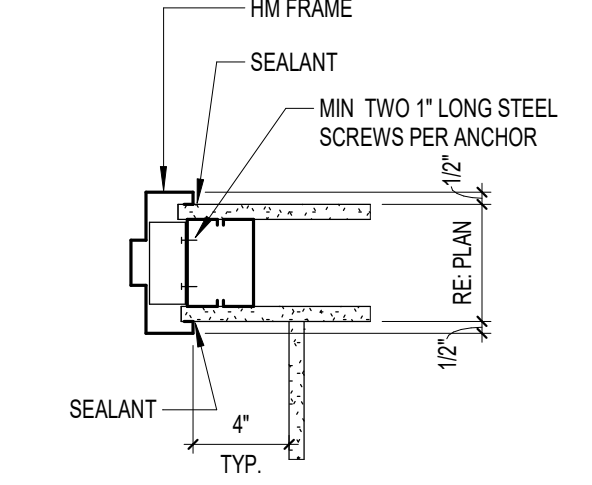
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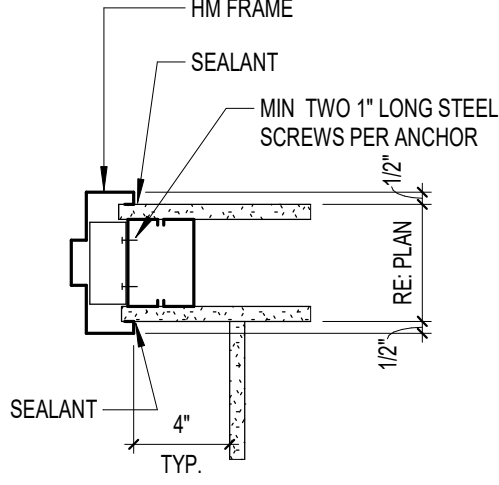
H2



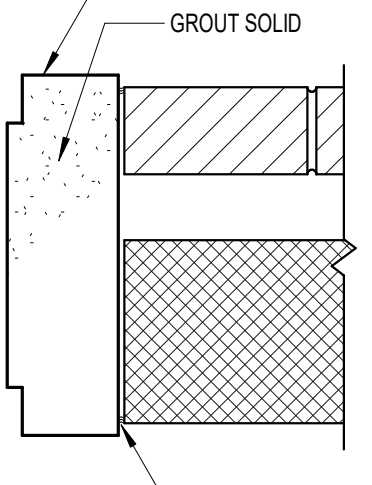
H3



J1



J2



J3

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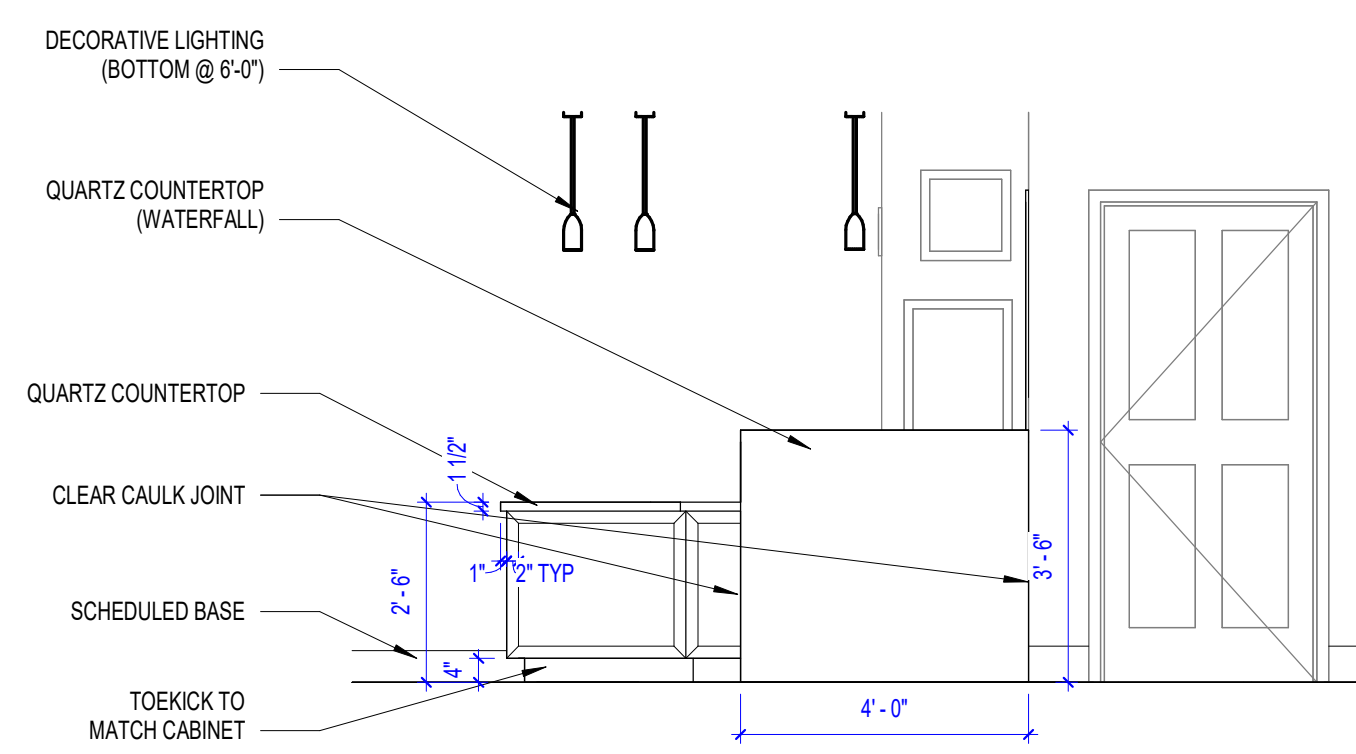
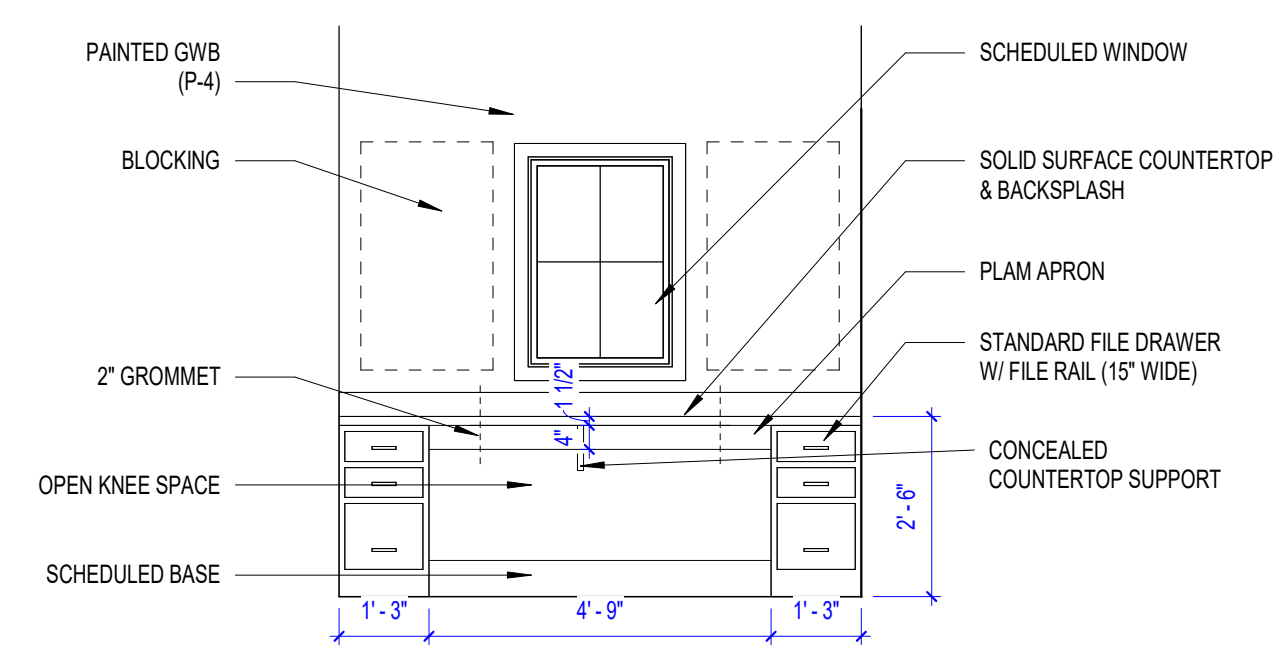
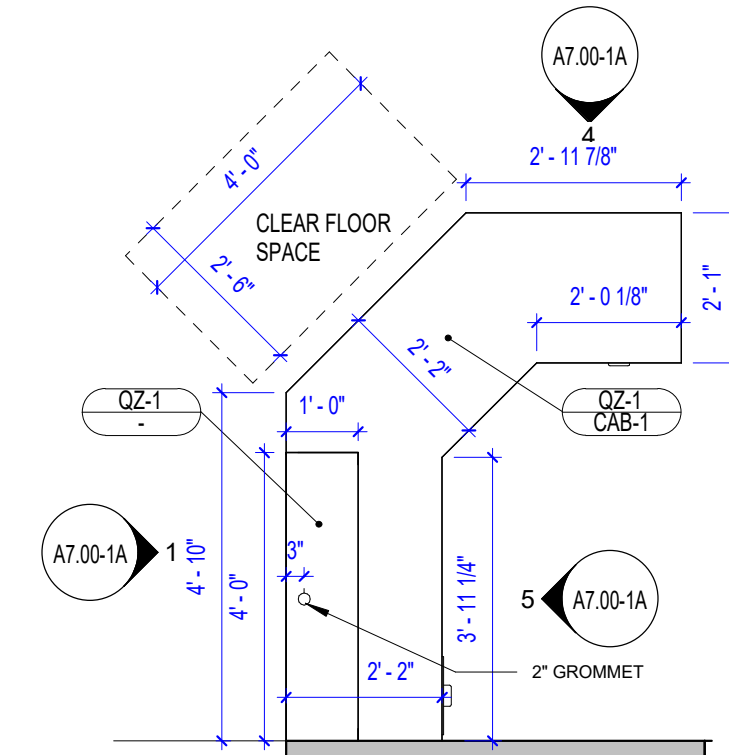
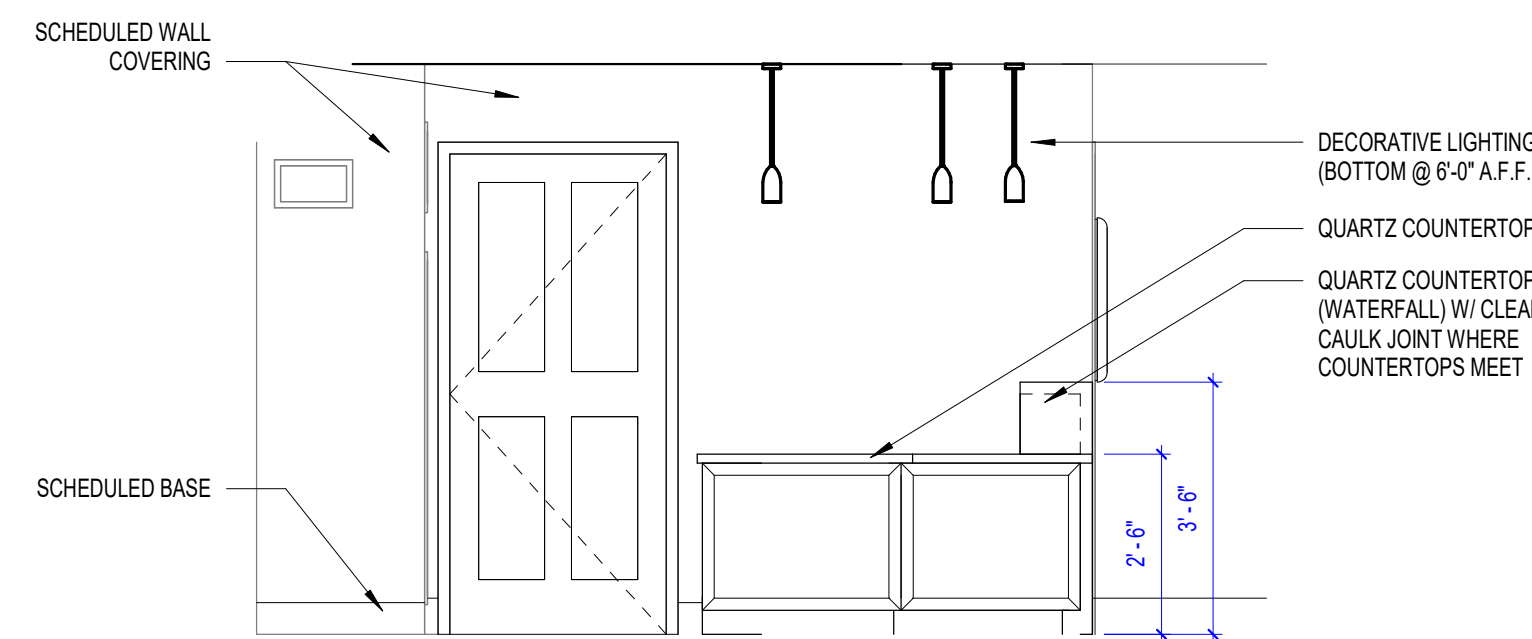
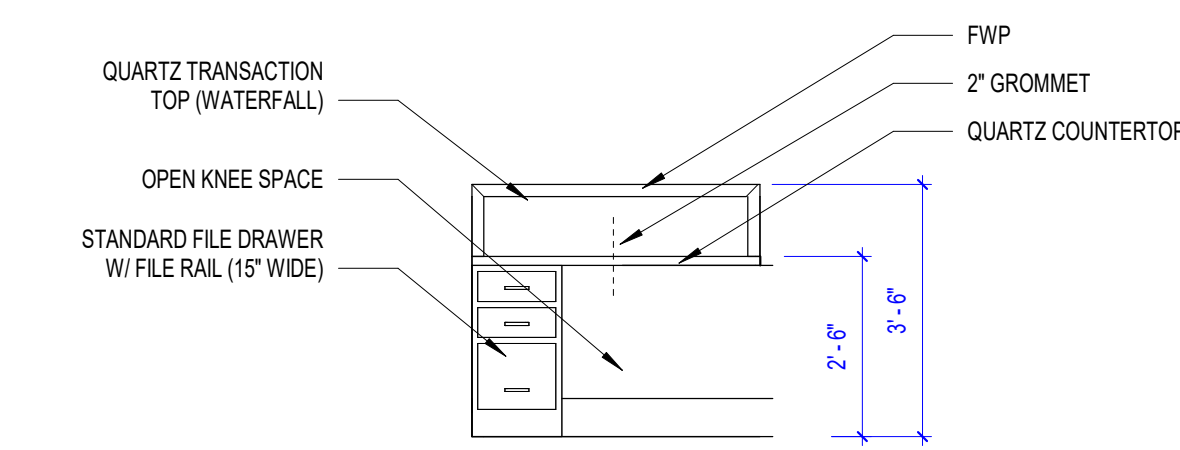
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ARCHITECT : JGB CHECKED : DDP
ENGINEER : SFCS, HWY APPROVED : JGB
NO. REVISION DESCRIPTION DATE

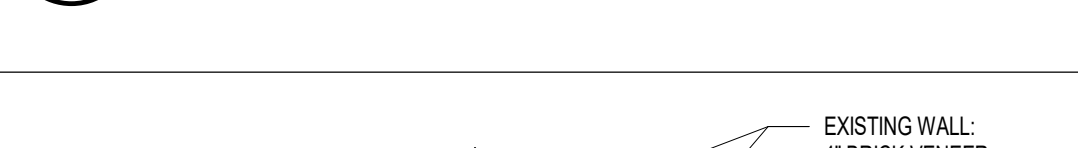
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**PARTITION TYPES, DOOR
SCHEDULE, ELEVATIONS
& DETAILS**

DATE: MAY 28, 2026 DRAWING
COMM. NO. 18135.00 **A4.00-1A**

APPROVAL STAMPS	



DATE:	MAY 26, 2026	DRAWING	A7.00-1A
COMM. NO.	18135.00		



1. STAIR COMPONENTS SHOWN ARE
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DESIGNATED DESIGNER
RE: STRUCT.

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DESIGNER : JGB	DRAWN : N
ARCHITECT : JGB	CHECKED : D

ENGINEER : SFCS, HWI	APPROVED : J
NO	REVISION DESCRIPTION

NO.	REVISION DESCRIPTION

DRAWING TITLE

STAIR PLANS, SECTI

DETAILS - ENABLING

[illegible]

1000

DATE:	DRAWING
MAY 26, 2026	A 2 2 2

COMM. NO.	18135.00	A8.00
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